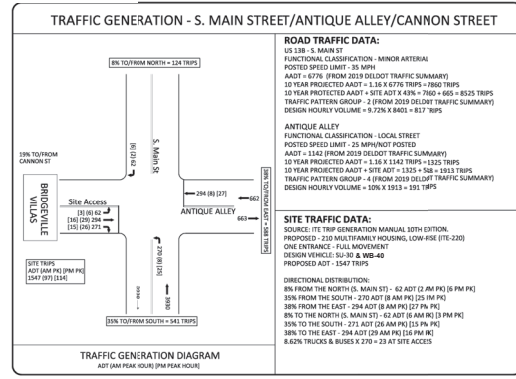


# DeDOT Entrance Plan Villas at Bridgeville

Date of Current Survey: January 2021

REVIEWED FOR GENERAL CONFORMITY WITH  
CURRENT REGULATIONS, STANDARD  
SPECIFICATIONS AND STANDARD DETAILS.  
THE DEVELOPER'S ENGINEER IS RESPONSIBLE FOR  
ACCURACY OF CONTENT.  
*Handwritten Signature* 11/07/2022  
SUBDIVISION ENGINEER  
DELAWARE DEPARTMENT OF TRANSPORTATION



### Owner's Certification

I, the undersigned, hereby state that I am the Owner's representative of the property described and shown on this plan. The plan was made at my direction. I acknowledge the same to be my act and desire that the plan be recorded according to the law.

Signature: *Neil Patel* Date: 11/01/22

Neil Patel  
VP Land Development  
Passwaters Farm, LLC

### Owner's Certification

I, the undersigned, hereby state that I am the Owner's representative of the property described and shown on this plan. The plan was made at my direction. I acknowledge the same to be my act and desire that the plan be recorded according to the law.

Signature: *Mike Hellyer* Date: 11/01/22

Mike Hellyer  
Construction Project Manager  
Bridgeville Villas, LLC

### Project Notes

#### Project Data

MAINTENANCE NUMBER OF HIGHWAY BEING ACCESSED: 55  
GROSS ACREAGE OF PROPERTY: 28.34 AC.  
ZONING: RESIDENTIAL PLANNED COMMUNITY (RPC)  
PRESENT USE: UNDEVELOPED RESIDENTIAL  
PROPOSED USE: RESIDENTIAL  
SEWER PROVIDER: SUSSEX COUNTY  
WATER PROVIDER: TOWN OF BRIDGEVILLE  
TAX PARCEL NUMBER: 131-14.00-44.22 & 131-14.00-44.23  
TOTAL NUMBER OF EXISTING LOTS: 2 LOTS  
TOTAL NUMBER OF PROPOSED LOTS: 210 LOTS  
INVESTMENT LEVEL AREA: LEVEL 1  
HORIZONTAL DATUM: DELAWARE STATE GRID NAD-83  
VERTICAL DATUM: NAVD 1988

#### Contact Data

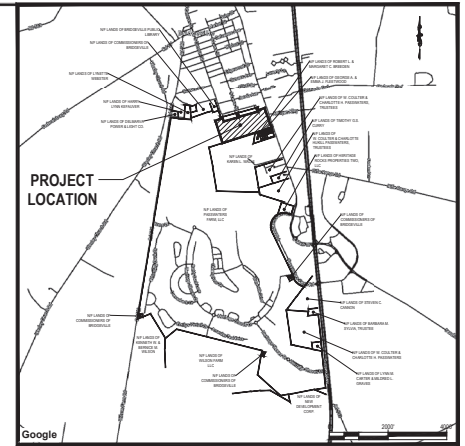
**OWNER & DEVELOPER:**  
131-14.00-44.22  
BRIDGEVILLE VILLAS, LLC  
1934 OLD GALLOWYS RD  
STE. 500  
VIENNA, VA 22182  
PHONE: (703) 556 - 4000

131-14.00-44.23  
PASSWATERS FARM, LLC  
3201 JERMANTOWN RD  
STE. 150  
FAIRFAX, VA 22030  
PHONE: (703) 270 - 1400

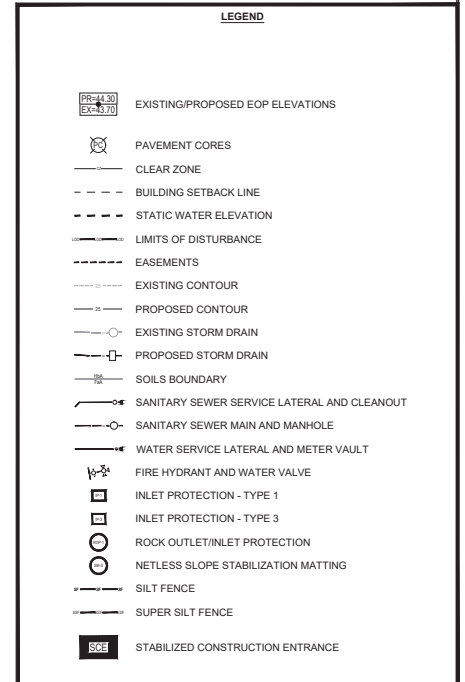
**ENGINEER:**  
RAUCH INC.  
106 N. HARRISON ST.  
EASTON, MD 21601  
PHONE: (410) 770 - 9081  
FAX: (410) 770 - 3667  
EMAIL: DESIGN@RAUCHENG.COM

#### Sheet Index

CG	Coversheet and General Notes
ECD	Existing Conditions and Demolition Plan
PSP	Proposed Entrance Site Plan
PDS	Paving Detail & Sections
SS	Signage and Striping
SD	Sight Distance
TM-4	Turning Movements
GD	Grading and Drainage Plan
CS-1	Cross Sections
PR	Road Profiles
MOT	Maintenance of Traffic
ESC-1	Erosion and Sediment Control



### VICINITY MAP



### General Notes - (Updated March 14, 2022)

- All entrances shall conform to the Delaware Department of Transportation's (DeDOT's) current Development Coordination Manual and shall be subject to its approval.
- As of the issuance of the Notice to Proceed (NTP) all materials and workmanship within the State of Delaware right-of-way shall be in accordance with current State of Delaware Department of Transportation Standard Specifications for Road and Bridge Construction, Supplemental Specifications, Standard Construction Details, Special Provisions, PAS Manual and Design Guidance Memorandums.
- All disturbed areas within the State right-of-way, but not in the pavement, shall be top-soiled (5" minimum), fertilized, seeded and mulched. If sod is used next to sidewalk or shared-use path, contractor shall grade topsoil adjacent to the sidewalk or shared-use path prior to placement of sod to ensure that sod is placed flush or just below edge of sidewalk or shared-use path to avoid water ponding on the sidewalk or shared-use path.
- A 72-hour (minimum) notice shall be given to the DeDOT District Permit Supervisor prior to starting entrance construction.
- Miss Utility of Delaware shall be notified three (3) consecutive working days prior to excavation, at 1-800-282-8555.
- The Developer shall be required to furnish and place right-of-way monuments in accordance with DeDOT's Development Coordination Manual.
- At the discretion of the Public Works Inspector, any damaged, non-compliant or missing curb or sidewalk found on site will need to be repaired or replaced to meet current DeDOT standards.
- As of the issuance of the Notice to Proceed (NTP), all signing, striping, and maintenance of traffic is the contractor's responsibility and shall follow the guidelines shown in the Delaware Manual on Uniform Traffic Control Devices (Delaware MUTCD) for Streets and Highways. The Developer or property owners shall be responsible for maintenance of all signs installed as part of this project.
- Plan location and dimensions shall be strictly adhered to unless otherwise directed by the DeDOT Inspector.
- A copy of the up-to-date approved construction documents and DeDOT approval letters shall be maintained on the project site at all times and be available for inspection by DeDOT personnel.
- Existing utilities are shown in accordance with the best available information. Completeness or correctness thereof is not guaranteed. It shall be the contractor's responsibility to contact the utility companies involved in order to secure the most accurate information available as to utility location and elevation. No construction around or adjacent to utilities shall begin without notifying their owners at least 48-hours in advance. The contractor shall take the necessary precautions to protect the existing utilities and maintain uninterrupted service and any damage done to them due to his/her negligence shall be immediately and completely repaired at the contractor's expense. To locate existing utilities in the field prior to construction, the contractor shall contact Miss Utility of Delaware (See Note #5).
- Should utility relocation be required, the Developer must submit a utility relocation plan for DeDOT review, along with correspondence from the utility companies stating preliminary approval to the relocation and design of the utilities prior to the DeDOT pre-construction meeting. No physical construction can occur until the utility plans are approved, the individual utility companies issue final approval, and a DeDOT utility permit is issued to the utility company.
- Upon completion of the construction of the sidewalk or shared-use path across this project's frontage and physical connection to adjacent existing facilities, the Developer, the property owners or both associated with this project, shall be responsible to remove any existing road tie-in connections located along adjacent properties, and restore the area to grass. These disturbed areas shall be top-soiled (5" minimum), fertilized, seeded and mulched. Such actions shall be completed at DeDOT's discretion, and in conformance with the Development Coordination Manual.
- DeDOT will not provide the respective local land use agency with a 'no objection to the issuance of the Certificate of Occupancy notice' until the entrance(s) are completed to the satisfaction of the Department.
- Design, fabrication and installation of all permanent signing shall be as outlined in the latest version of the Delaware MUTCD. For final permanent pavement markings:
  - Epoxy resin paint shall be required for long line striping.
  - Thermo plastic (extruded or preformed materials) will be required on Asphalt surfaces, for short line striping, i.e. symbols/signs.
  - Permanent pavement marking tape (per DeDOT's approved materials list) will be required on Concrete surfaces, for short line striping, i.e. symbols/signs.
- Removal of pavement marking paint or tape shall comply with Section 5.11.2 of the Development Coordination Manual.
- Breakaway posts shall be used when installing all signs. Reference DeDOT's Standard Construction Details, Section VIII - Traffic, T-15.
- Subdivision streets constructed within the limits of the right-of-way dedicated to public use shown on this plan are to be maintained by the Town of Bridgeville following the completion of the streets by the Developer to the satisfaction of the Town. The Town accepts no maintenance responsibility within the dedicated street right-of-way until the streets have been accepted by the Town.
- The ends of all curbs shall be transitioned to be flush with the pavement at a ratio of twelve to one (12:1).
- A double yellow centerline will be required along the paved portion of Route 138. Striping of the centerline shall be 6-inch wide line separated by a 6-inch space.
- All fixed objects are to be a minimum of 10-feet from the edge of travel lane and 5-feet from the edge of pavement. Reference Section 5.5.5 of the Development Coordination Manual. Any fixed object that does not meet this requirement shall be relocated.
- It is the contractor's responsibility to ensure that all paving within the State of Delaware right-of-way is installed to the elevations shown and no ponding of water exists after paving is complete.
- All storm drain piping designated as reinforced concrete pipe is to be reinforced concrete pipe, meeting AASHTO M-170 specifications. See plans for specific class of pipe.
- All proposed closed storm drain systems shall be video inspected, repaired as necessary and approved prior to the installation of final paving. If repairs are needed, the repaired pipe sections will need to be video inspected again before the repair can be approved.
- The Developer and existing/utility owner of non-state-maintained roadways shall ensure that the traffic control devices on said roadways open to public travel are in compliance with the latest version of the Delaware MUTCD.
- All signage shall be compacted to 95% of the maximum standard 1.99 dry density.
- The contractor shall notify DART First State or DeDOT, [Entrance@Delaware.gov](mailto:Entrance@Delaware.gov), at least 14 days prior to the start of any detours or construction, and [DOT-DTC.ProjectDevelopment@delaware.gov](mailto:DOT-DTC.ProjectDevelopment@delaware.gov) at such time the facility is completed and operable for transit operations. For emergency detour information only, please contact DTC's Chief Scheduler at 302-576-6019.
- For information on obtaining a Utility Permit in Sussex County contact M&O-South District-Public Works at (302) 853-1345.
- For information on getting approval for proposed outdoor advertising in Sussex County contact M&O-South District-Outdoor Advertising & Roadside Control at (302) 853-1327.
- An AWWSE Letter was issued for this project, and amended on Dec 23, 2021. The following are the conditions of the letter:
  - The proposed development consists of 210 low-rise multi-family units. Per the 10th edition of the Institute of Transportation Engineers' Trip Generation Manual, the proposed development would generate 1547 average daily trips and 114 vehicle trips during the p.m. peak hour. The fee is calculated at ten dollars per daily trip. For the proposed development, the fee would be \$15,470.00.
  - The developer shall improve the State-maintained road(s) on which they front, within the limits of their frontage, to meet DeDOT's standards for their Functional Classification as found in Section 1.1 of the Development Coordination Manual and elsewhere therein. The improvements shall include both directions of travel, regardless of whether the developer's lands are on one or both sides of the road. Frontage is defined in Section 1 of the Development Coordination Manual, which states "This length includes the length of roadway perpendicular to lines created by the projection of the outside parcel corners to the roadway." Questions on or appeals of this requirement should be directed to the DeDOT Subdivision Review Coordinator in whose area the development is located.
  - The developer shall enter into a traffic signal agreement for the intersections of S. Main Street (Sussex Road 5) and Passwaters Farm Road (Sussex Road 5B), and US Route 13 (S. Main Street / Seashore Highway (Sussex Road 6)). The developer should coordinate with DeDOT's Traffic section on the details of this agreement.
  - The requirement to complete a TOA was withdrawn by DeDOT on March 2, 2022 with the following conditions:
    - DeDOT requires confirmation from the Town that the Town does not want an interconnection between Heritage Shores and Villas at Bridgeville
    - DeDOT requires that the street system of Villas at Bridgeville be designed in accordance with the sketch (presented to DeDOT by email on Jan 31, 2022), acceptable to both DeDOT and the Town, that provides residents of both developments access into the downtown area by way of South Cannon St.

**Project Data**  
Project Tax Map ID: 131-14.00-44.22 & 131-14.00-44.23  
Horizontal Control: Delaware State Grid NAD-83  
Vertical Control: NAVD 1988  
Zoning: Residential Planned Community (RPC)  
Current Land Use: Residential

**Proposed Land Use:** Residential  
**Total Site Area:** 28.34 AC  
**Disturbed Area:** 1.72 AC  
**Plus Number:** N/A  
**Site Address:** Intersection of South Main Street & Antiquue Alley  
**Latitude/Longitude:** Center of Parcel: 38.742423, -75.598471

**Gross Acreage:** 28.34 ac  
**Proposed Site Area:** 28.34 ac  
**Proposed Development:** 210 Single Family Residential Lots  
**Parking Spaces Required:** N/A  
**Parking Spaces Provided:** 465  
**Local Government Responsible for Approval:** Town of Bridgeville



**Professional Certification**  
I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Delaware. License No. 8359  
Expiration Date: June 30, 2024



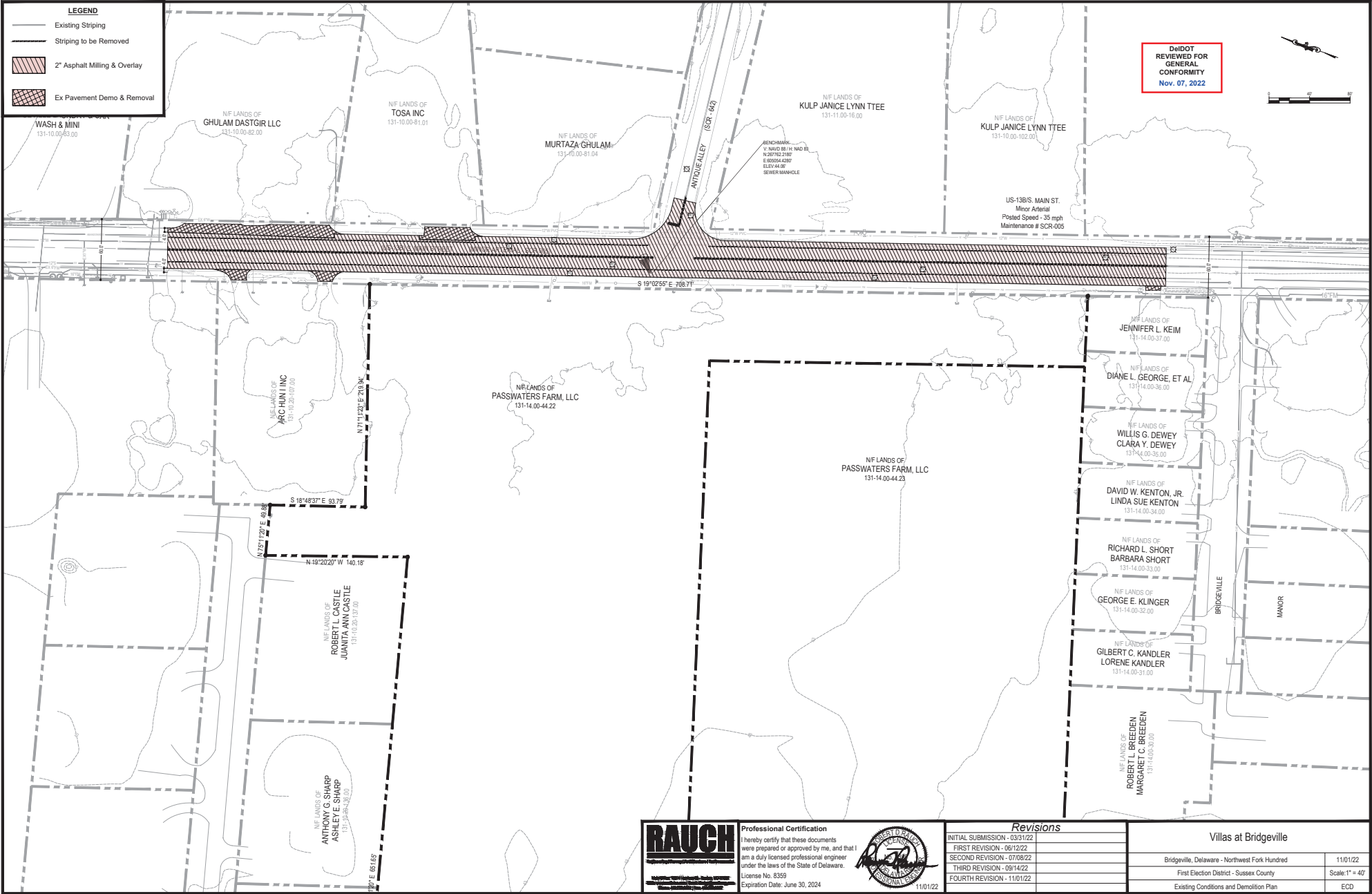
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INITIAL SUBMISSION - 03/11/22	
FIRST REVISION - 06/12/22	
SECOND REVISION - 07/08/22	
THIRD REVISION - 09/14/22	
FOURTH REVISION - 11/01/22	

Villas at Bridgeville	
Bridgeville, Delaware - Northwest Fork Hundred	11/01/22
First Election District - Sussex County	Scale As Shown
Coversheet and General Notes	CG

**LEGEND**

- Existing Striping
- Striping to be Removed
- 2" Asphalt Milling & Overlay
- Ex Pavement Demo & Removal

DEIDOT  
 REVIEWED FOR  
 GENERAL  
 CONFORMITY  
 Nov. 07, 2022



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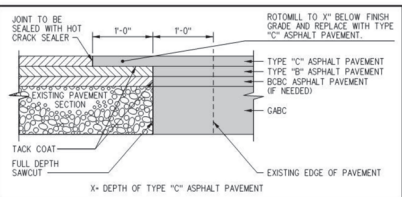
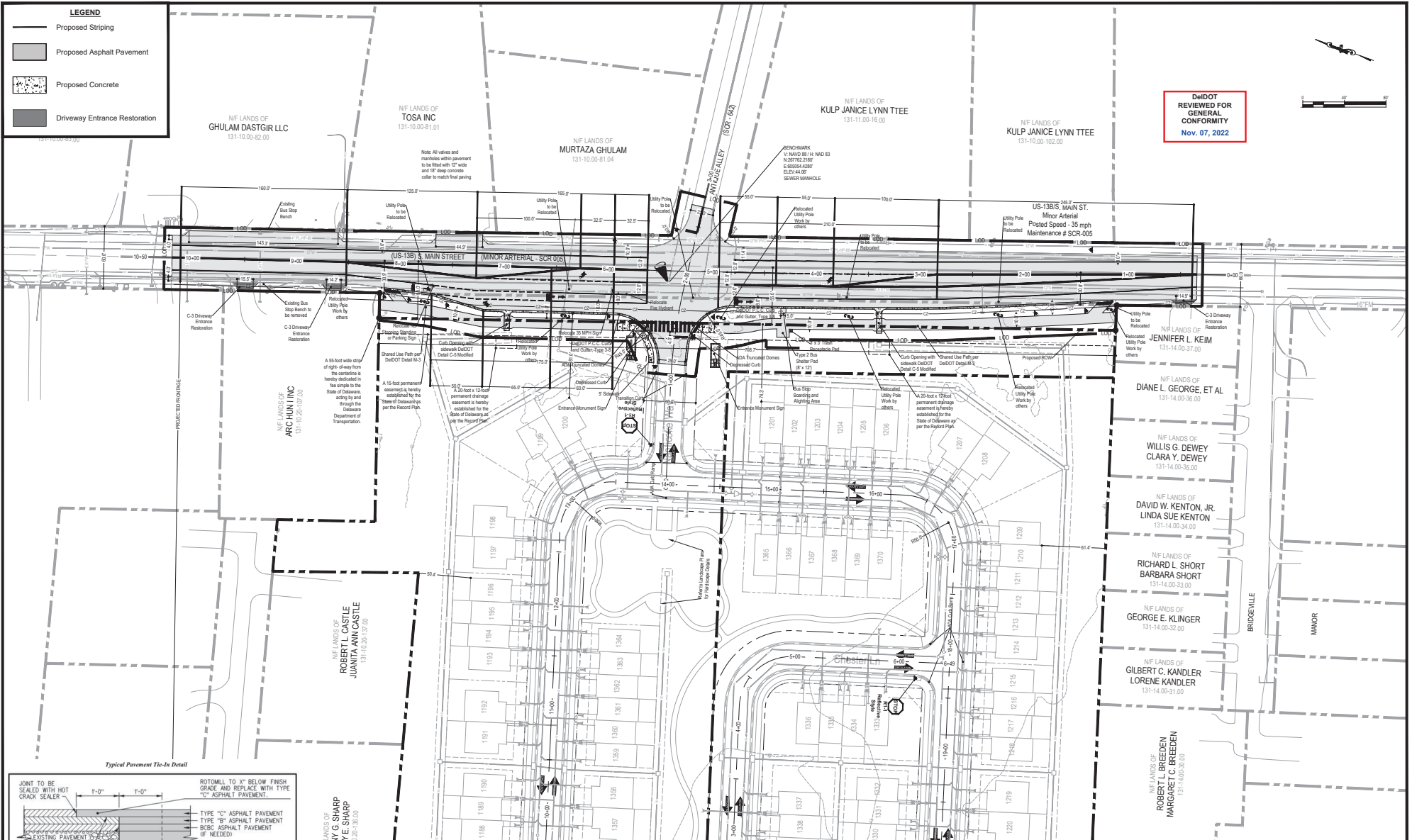
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THIRD REVISION - 09/14/22	
FOURTH REVISION - 11/01/22	

Villas at Bridgeville		
Bridgeville, Delaware - Northwest Fork Hundred		11/01/22
First Election District - Sussex County		Scale: 1" = 40'
Existing Conditions and Demolition Plan		ECD

**LEGEND**

- Proposed Striping
- Proposed Asphalt Pavement
- Proposed Concrete
- Driveway Entrance Restoration

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**RAUCH**

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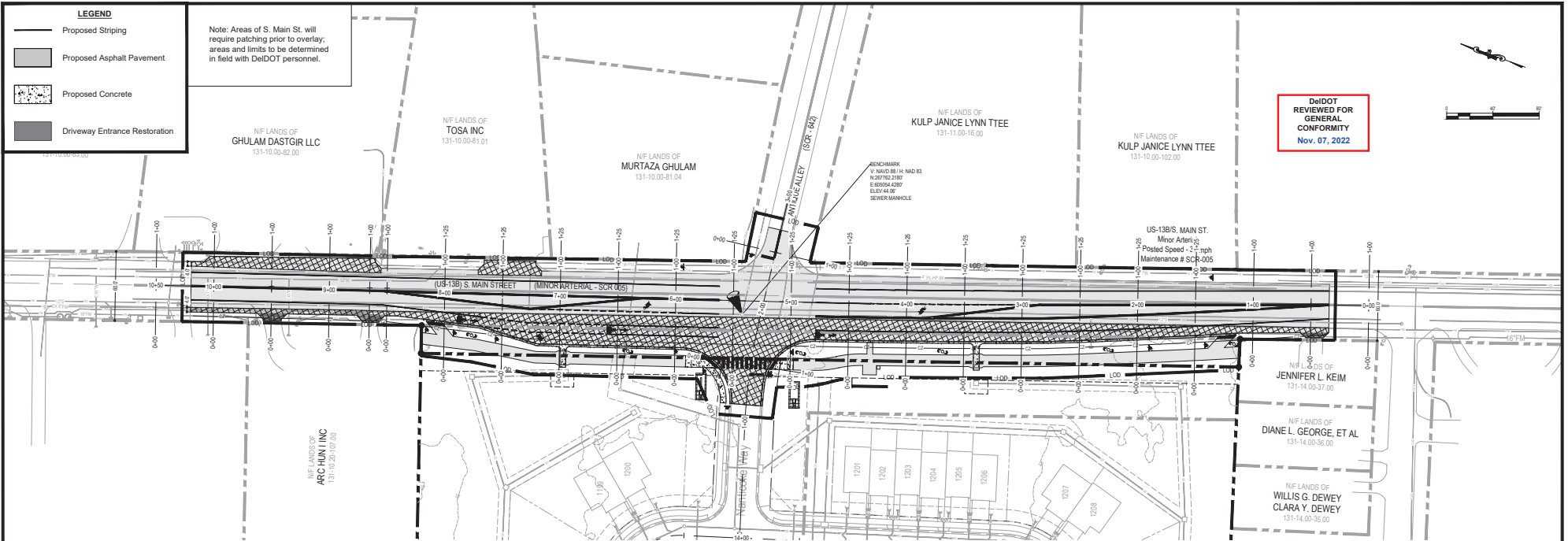


**Revisions**

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**Villas at Bridgeville**

Bridgeville, Delaware - Northwest Fork Hundred	11/01/22
First Election District - Sussex County	Scale: 1" = 40'
Proposed Entrance Site Plan	PSP



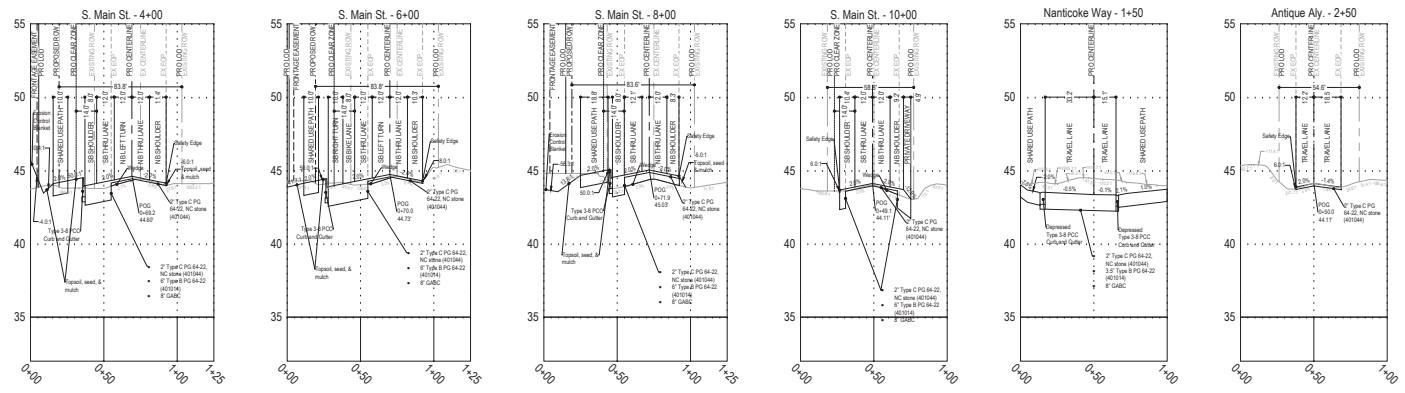
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Nov. 07, 2022

**LEGEND**

- Proposed Striping
- Proposed Asphalt Pavement
- Proposed Concrete
- Driveway Entrance Restoration

Note: Areas of S. Main St. will require patching prior to overlay; areas and limits to be determined in field with DelDOT personnel.

**TYPICAL SECTIONS**



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		SECOND REVISION - 07/08/22	
THIRD REVISION - 09/14/22			
FOURTH REVISION - 11/01/22			
		<b>Villas at Bridgeville</b> Bridgeville, Delaware - Northwest Fork Hundred First Election District - Sussex County Pavement Detail & Sections	
			11/01/22 Scale: 1" = 40' PDS

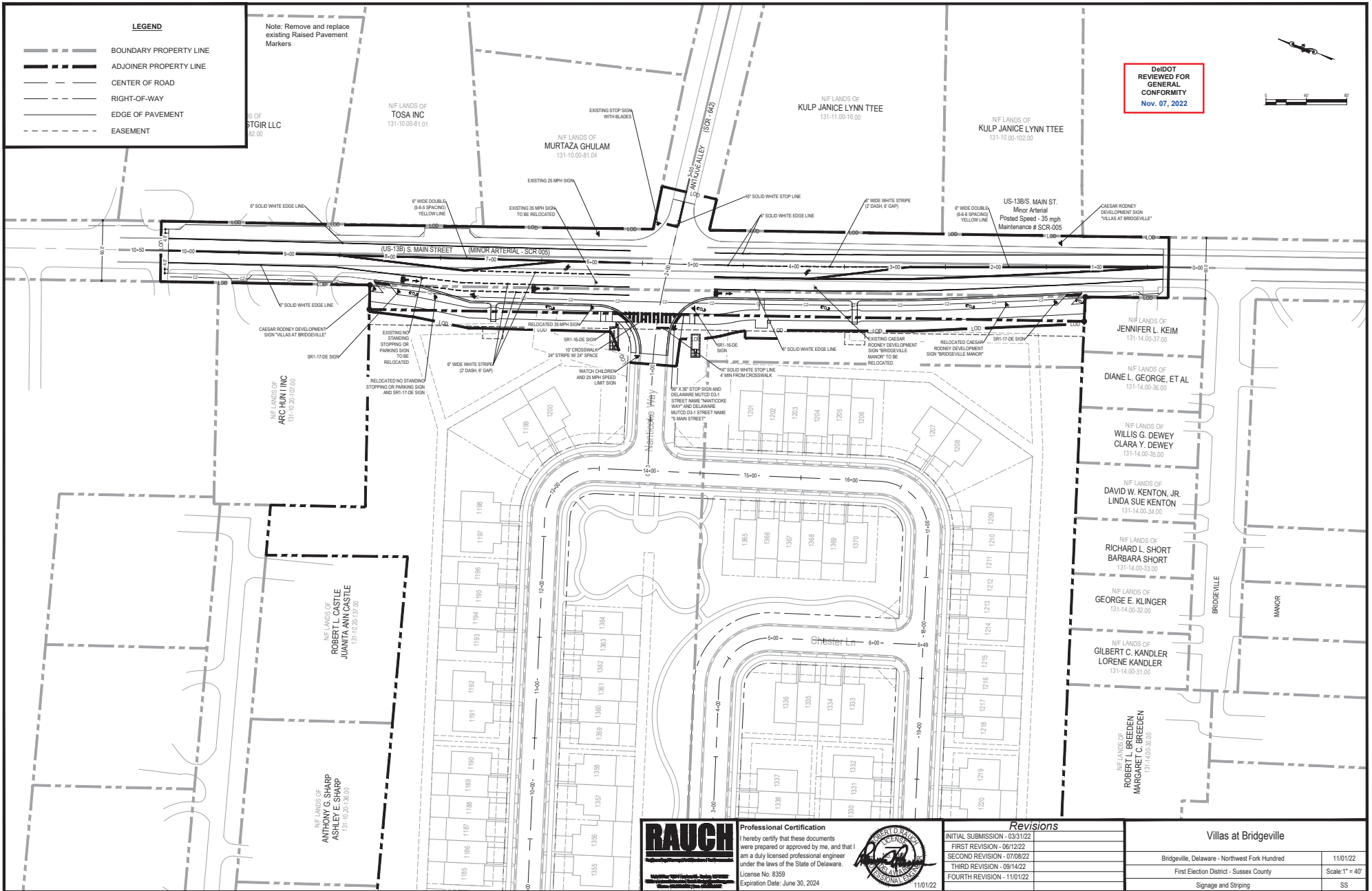
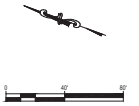


**LEGEND**

- BOUNDARY PROPERTY LINE
- ADJOINER PROPERTY LINE
- CENTER OF ROAD
- RIGHT-OF-WAY
- EDGE OF PAVEMENT
- EASEMENT

Note: Remove and replace existing Raised Pavement Markers

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GENERAL  
CONFORMITY  
Nov. 07, 2022

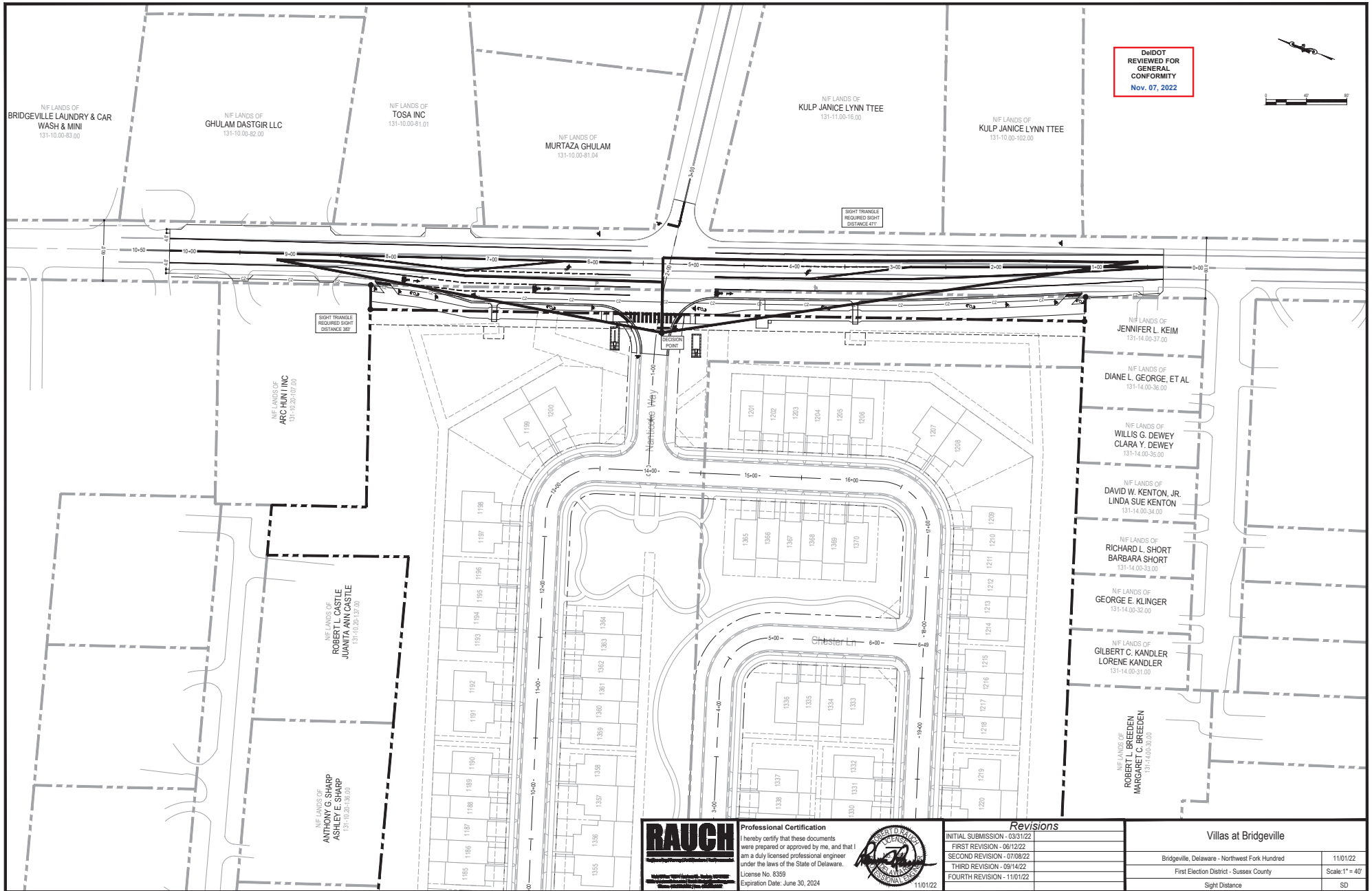


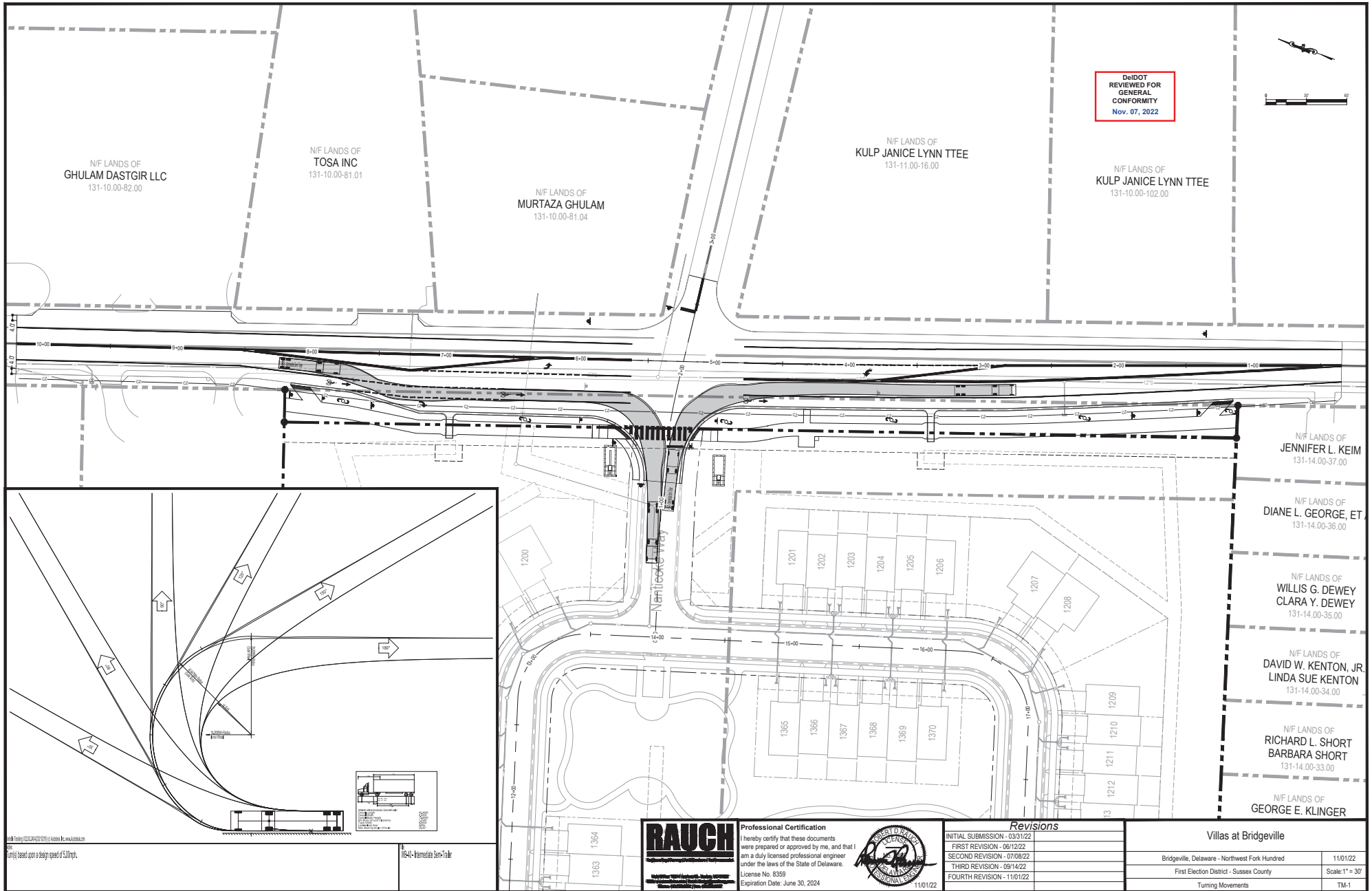
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Villas at Bridgeville		
Bridgeville, Delaware - Northwest Fork Hundred		11/01/22
First Election District - Sussex County		Scale: 1" = 40'
Signage and Striping		SS





N/F LANDS OF  
GHULAM DASTGIR LLC  
131-10.00-82.00

N/F LANDS OF  
TOSA INC  
131-10.00-81.01

N/F LANDS OF  
MURTAZA GHULAM  
131-10.00-81.04

N/F LANDS OF  
KULP JANICE LYNN TTEE  
131-11.00-16.00

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CONFORMITY  
Nov. 07, 2022

N/F LANDS OF  
KULP JANICE LYNN TTEE  
131-10.00-102.00



N/F LANDS OF  
JENNIFER L. KEIM  
131-14.00-37.00

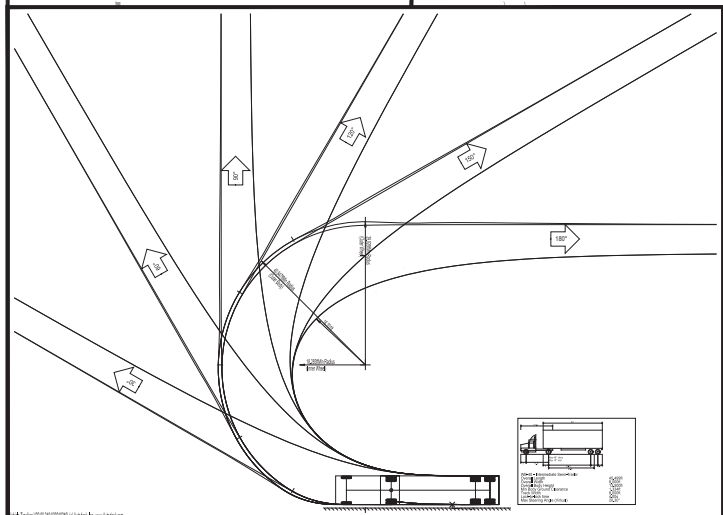
N/F LANDS OF  
DIANE L. GEORGE, ET  
131-14.00-36.00

N/F LANDS OF  
WILLIS G. DEWEY  
CLARA Y. DEWEY  
131-14.00-35.00

N/F LANDS OF  
DAVID W. KENTON, JR.  
LINDA SUE KENTON  
131-14.00-34.00

N/F LANDS OF  
RICHARD L. SHORT  
BARBARA SHORT  
131-14.00-33.00

N/F LANDS OF  
GEORGE E. KLINGER



16'-4" Intermediate Service Table

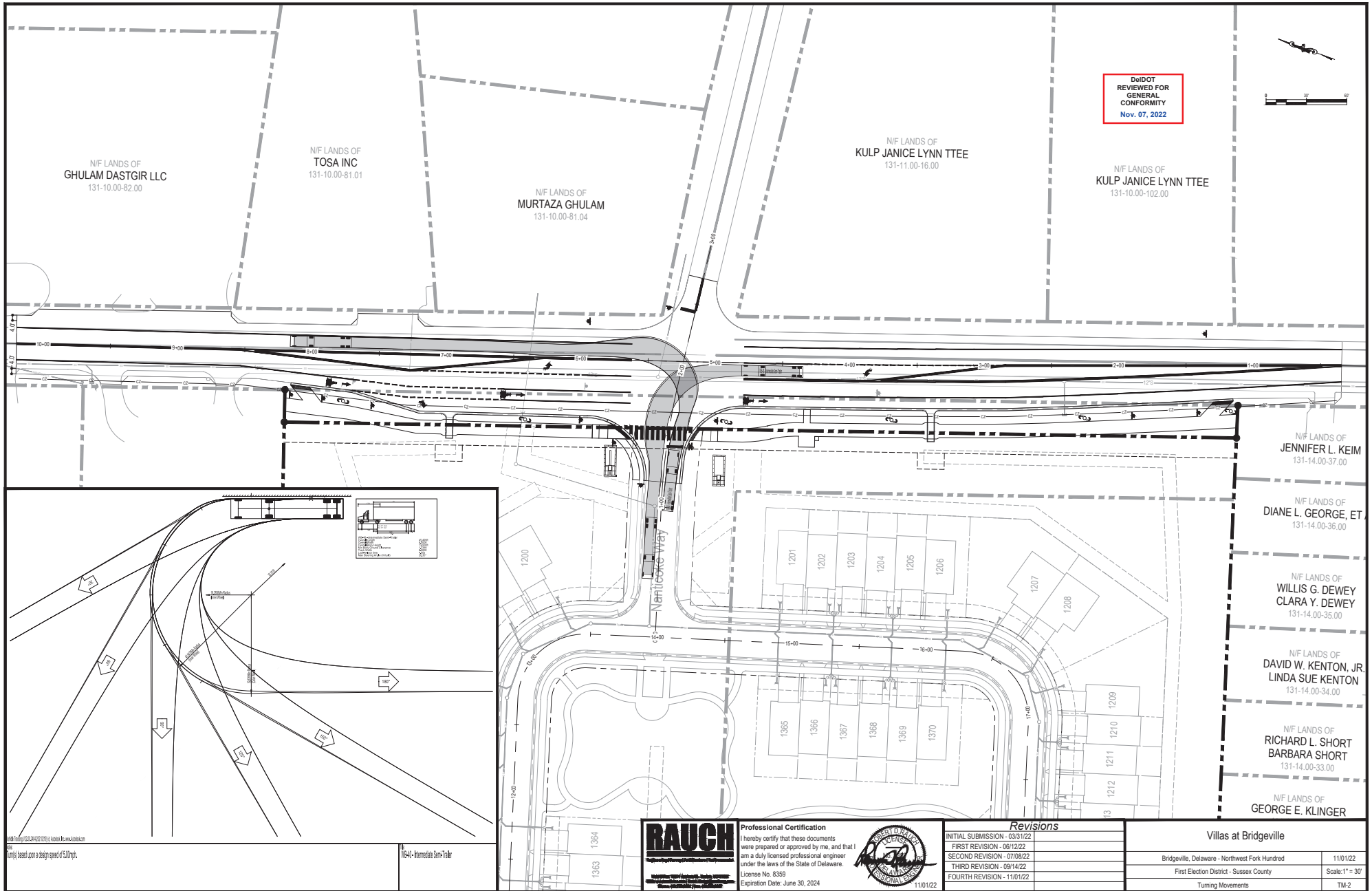


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Villas at Bridgeville		
Bridgetown, Delaware - Northwest Fork Hundred		11/01/22
First Election District - Sussex County		Scale: 1" = 30'
Turning Movements		TM-1



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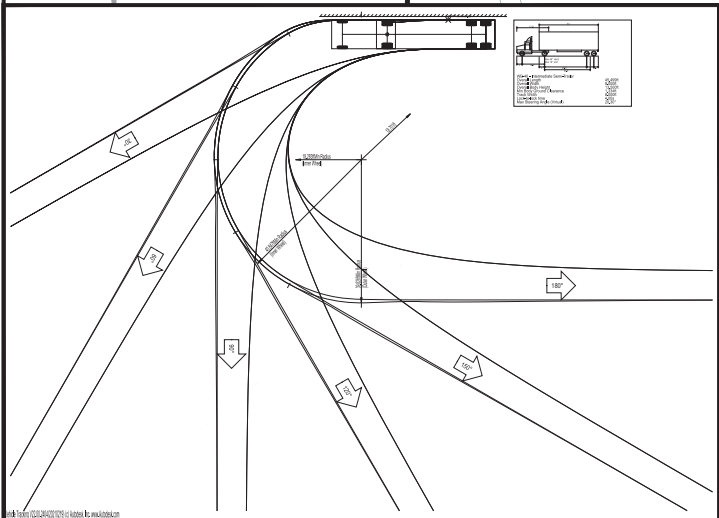
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BARBARA SHORT  
131-14.00-33.00

N/F LANDS OF  
GEORGE E. KLINGER



Scale: 1" = 30'  
Date: 11/01/22

1641 - Interstates Serv/Traffic



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Bridgetown, Delaware - Northwest Fork Hundred		11/01/22
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Turning Movements		TM-2