

VARIANCES, CONDITIONAL USE APPROVAL & ZONING CHANGE
APPLICATION 4

Applicant (Company) Name: MARGARET RIVERS 509-315-430-7808
Contact Person: MARGARET RIVERS
Project Title/Name: SUNROOM
Town Assigned Project Review Application number (from Form 1) _____

Applicant Request

☒ Variance For placement of sunroom on patio
☐ Conditional Use Approval For _____
☐ Zoning Change For _____

Required Information

The Application information must be submitted in writing to the Administrator with this application:

- Statement of the type of relief, permission, or review requested.
- Information about the property for which the application or review is being made.
- Narrative providing information to support the application including the provisions of Chapter 234 and a statement as to how the application complies with those provisions.
- Plans or drawings that support or clarify the relief or permission requested.
- Information requested by the Board or information that may support this application.

The burden of proof is on the applicant. AN applicant for an administrative review, variance, conditional uses, or Zoning change shall have the burden of presenting the information needed by the Board to decide.

Reference Town Code Chapters 234-23, 234-24, and 234-93 for a complete description of the required information and process.

Applicant Signature

The Applicant & property owner understand that all certifications on Form 1, the Initial project review application continue to apply.

Signature of Applicant _____
Date of Applicant (s) 10/21/25 M. Rivers
Print Name (s) MARGARET RIVERS
Date Signed M. Rivers 10/21/25

Date Form 4 Received by Town: 10/21/2015
Reviewed By: B. [Signature]

10/21/25 CK#247 \$500

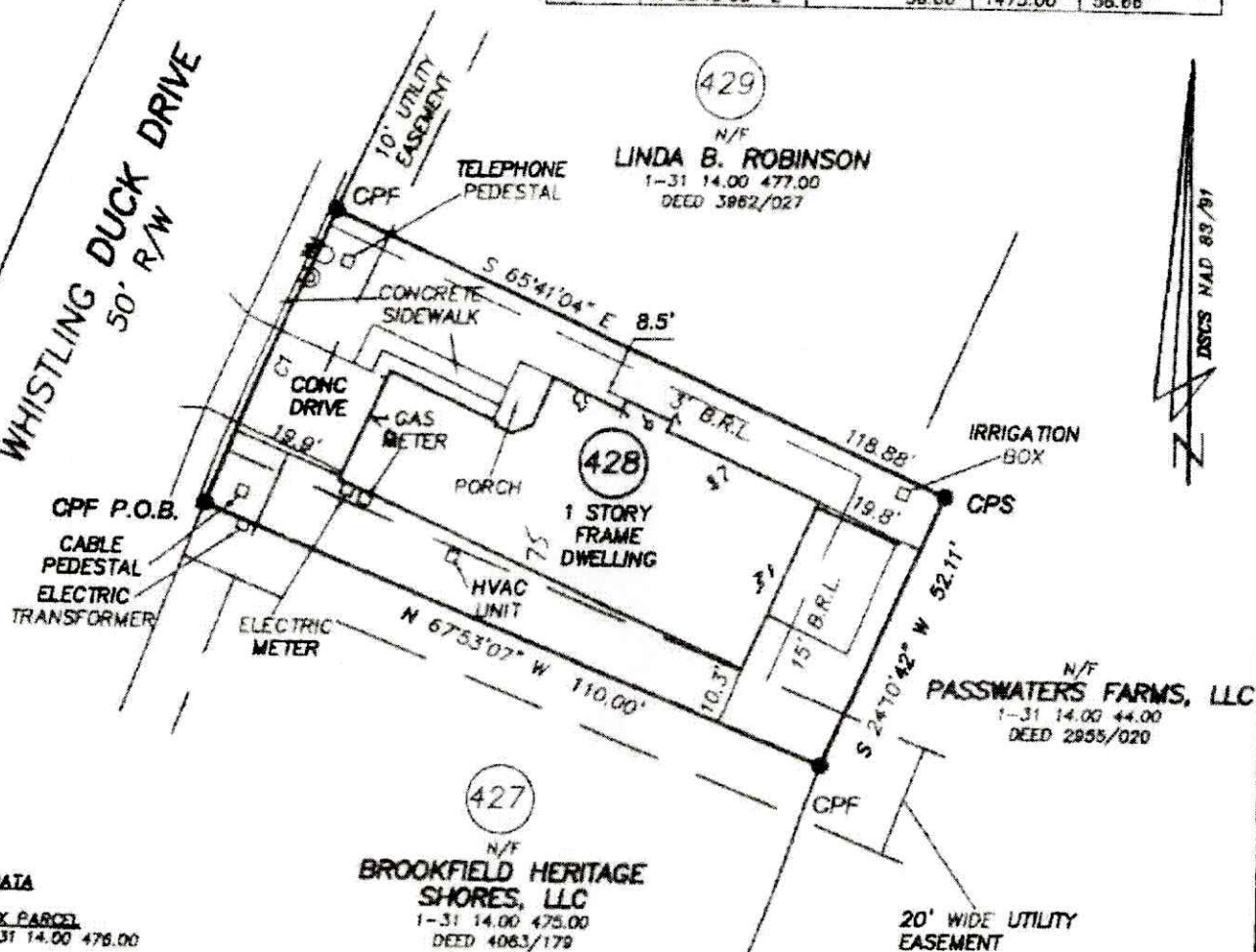
Request for variance in order to put sunroom on current patio

I am requesting a variance in order to put a sunroom on the existing patio at 72 Whistling Duck Drive. The sunroom would be approximately 10 feet wide and 14 feet long. It would be an enclosed space, with windows all around and up to the roof line, and with a sloping roof, and would not project closer to the property line than 10 feet. Patio Systems of Lewes, DE, has been contracted to construct the sunroom. There are no structures directly behind the house. The patio is a built-up paver patio that was constructed by the previous owners. The sunroom would sit on the current patio. As per the HOA, the set-back requirement is 10 feet and the sunroom has been designed to fit into that space. This property is a single family dwelling without any screened room or sunroom, as many of the properties in Heritage Shores have. The sunroom would provide some outdoor space that would be free from mosquitos and other bugs, particularly in the evening. A plat of the property is included, showing the current patio. The sunroom would not completely enclose the patio, allowing space around the sunroom to still move on the patio.

CURVE TABLE

CURVE	CHORD BEARING	CHORD LENGTH	RADIUS	ARC LENGTH
C1	N 23°12'55" E	56.66'	1475.00'	56.66'

WHISTLING DUCK DRIVE
50' R/W



SITE DATA

- TAX PARCEL**
1-31 14.00 476.00
- ADDRESS**
72 WHISTLING DUCK DRIVE
BRIDGEVILLE, DE 19833
- AREA**
6,450 SQ. FT.±
- DEED REFERENCE**
4053/298
- PLAT REFERENCE**
159/40 & 171/1
- CURRENT OWNER**
BROOKFIELD HERITAGE SHORES, LLC
- SURVEY CLASS**
THIS SURVEY MEETS OR EXCEEDS THE REQUIREMENTS FOR AN URBAN SURVEY.
- THIS PLAT WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT WHICH MAY SHOW ADDITIONAL CONVEYANCES, EASEMENTS, COVENANTS, RIGHTS-OF-WAY OR MORE STRINGENT BUILDING RESTRICTION LINES THAN WHAT IS SHOWN HEREON.
- THE DWELLING SHOWN HEREON APPEARS TO EXIST WITHIN ZONE "X" AS SCALED FROM FLOOD INSURANCE RATE MAP COMMUNITY PANEL No. 10005C0251J NO ON SITE ELEVATIONS HAVE BEEN TAKEN TO VERIFY ACTUAL FIELD CONDITIONS.

LEGEND

●CPS CAPPED PIN SET

SURVEYOR'S CERTIFICATION:

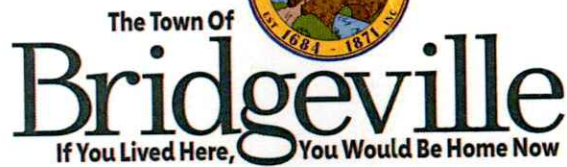
I HEREBY CERTIFY TO THE FACTS OF THIS SURVEY.

• PATIO ADDED 10/20/10 2482-16

ENCLOSURE - 14" X 10"

→ EXTENDS 5'2" INTO REAR YARD SETBACK.

COMMENCING AT A POINT LOCATED ALONG THE NORTHERN RIGHT-OF-WAY LINE OF GADWALL CIRCLE, A FIFTY (50) FOOT WIDE RIGHT OF WAY AT THE INTERSECTION OF THE EASTERN RIGHT-OF-WAY LINE OF WHISTLING DUCK DRIVE, A FIFTY (50) FOOT WIDE RIGHT-OF-WAY; THENCE LEAVING GADWALL CIRCLE SO FIXED AND BINDING ON THE EASTERN RIGHT-OF-WAY LINE OF WHISTLING DUCK DRIVE; NORTH 09° 30' 23" EAST 103.71 FEET TO A POINT OF CURVATURE; THENCE BY AND WITH THE ARC OF A CURVE TO THE RIGHT A DISTANCE OF 324.58 FEET TO THE PLACE OF BEGINNING, SAID CURVE HAVING A RADIUS OF 1475.00 FEET AND SCRIBED BY A CHORD OF NORTH 15° 48' 38" E 323.93 FEET.



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Applicants Certification

I hereby certify that I am the owner of the record of the named property, or that I have been authorized by the owner of the record to make this application as an authorized agent and that I assume the responsibility for the establishment of official property lines and required setbacks before the start of construction and agree to conform to all applicable codes and laws of this jurisdiction. I further certify that this information is true and correct to the best of my knowledge.

Signature: _____

Date: _____

9/5/25

For Office Use Only

Payment amount due: \$ _____

Refer to Fee Schedule in Chapter 128, Town of Bridgeville Code. The payment amount is from the total in the following table.

Permit Fee Items	Fees
Building Permit Cost (% of Est. Cost.)	
Connection Fee	
Water Impact Fee	
Meter Pit	
Water Tapping	
Water Meter	
Library Fund	
Fire/EM Fund	
EM # 2	
C/O	
Zoning	
Delinquent Charges (Clean Hands Policy)	
TOTAL	

Date received: _____

Received by: _____

Approved by: _____

Town Official Signature _____

Floodplain Review- Yes/No- Comments: _____ Initials _____

Wellhead Protection Area Review- Yes/No- Comments: _____ Initials _____

25-149



Patlo Systems, Inc.
16083 New Rd. Lewes, DE
19958
(302)644-6540

Name: Margaret Rivers Ph: 315-430-7808

Job Address: 72 Whistling Duck Dr Mailing Address: Bridgeville, DE 19933 Ph:

Email: larryrivers19@comcast.net

Full or Part Time? NO HOA/YN:

Windows: V4T H4T H2T Screen Panels Glass Sliders: Single-Pane (Uninsulated) Dual-Pane (Insulated-Low E)
Frame Color: White Driftwood Bronze Gray Black Vinyl Tint Color: Clear Smoke Bronze Dark Gray

Porch Conversion: (Walls Only) 200 (Vinyl Panels) 300 (Single-Pane Glass) Complete Sunroom: (With Roof)
Model: 100 (Screen) 200 (Vinyl Panels) 300 (Single-Pane Glass) 400 (Dual-Pane Glass)
Wall Frame Color: White Driftwood Bronze (Not on 400) Black (Not on 400) Gray (Not on 400)
Window Frame Color: White Window Tint: Clear Smoke Bronze Gray (200 only) Window Height: 88" (Approx.)

Size: 14' W x 10' P Floor Ht. (From Grade): 0' Soffit Ht. (From Bottom of House Door): 134" Wall Ht. (Approx.): 104" Eave to 134" Peak

On Existing Floor: Composite Wood Concrete Slab Patlo Pavers New Platform: Yes No
Roof: Gable "A" or Studio (Shed) Shingled over OSB Stick Framed Saddle Tie-in Under Eave Tie into Fascia board
Panel Thickness: 4" Cut Off House Overhangs: Rear Side Gutter/Fascia: White Driftwood Bronze
Patlo Cover Only: Yes No Top Color: White Driftwood Bronze Gray Bottom Color: White Driftwood Bronze Gray

DEMO:
Screen Rails Posts # Landing Deck Steps New Posts: # Move Posts: #
Remove Ceiling Cover: Yes No Insulate Ceiling: Fiberglass Batt
New Ceiling Cover: Yes No New Ceiling Description: Stock Sunspace panels

Sheathe Floor: Advantech 1/4" 1/2" or Sill Flasher: (On Perimeter) Yes No Azek Band: Room Deck
Insulate Floor: Under (Fiberglass) Above (Polystyrene)

Wrap with PVC Aluminum: Posts # Headers 2" x 4" at sill Add Composite Steps DEMO Interior Wall: Yes No
Cover With:

New Deck: Size: ' W x ' P Landing: Yes No Handrails: Vinyl Standard
Composite Brand: 'W x ' P Aluminum Style: Picket
Style: Color: Steps: # (Approx.) Color: Solar Light Caps: #

Knee-Walls: Height: None Transoms: Glass Vinyl Solid Panel Screen
Glass Vinyl Solid Panel Screen

Gable Traps: Glass Vinyl Solid Panel Screen Screen Type: Better-View Standard No-Seeum Other:

Exterior Aluminum Safety Rails: (3/4" Pickets) Skirting Under: Room Deck
(Model 100 or 200 over 30" Above Grade) Color: Lattice Color: AZEK Horizontal Slats (White Only)

Door Style: Size: 36" x 90" (Swing) Hinge (OUTSIDE): Left Right Inswing (Not Water-Tight) Outswing
Slider: 0 # Swinging: 2 # Door Hardware Color: Silver Black White Brass Gold Other

Electric: Mini-Split Wiring (Fan) Door Exterior Light Light-Switch 2 # Outlets: Wall 4 # Floor 0 # Other 0 Chase-Ways 6 #
New Dedicated Circuit: Yes No

Other Work: Tint color TBD by time of remeasure.

List Price	Discounts	Net Investment
\$40,921	\$5,836	\$35,085

20% Deposit	20% Materials Ordered	50% Job Start	20% At Completion
\$7,016 Initial	\$7,016	\$17,541	\$3,509

INITIAL HERE MR

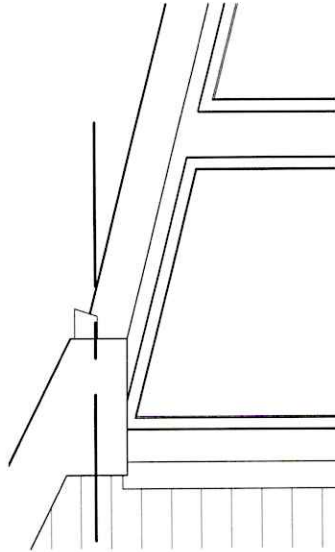
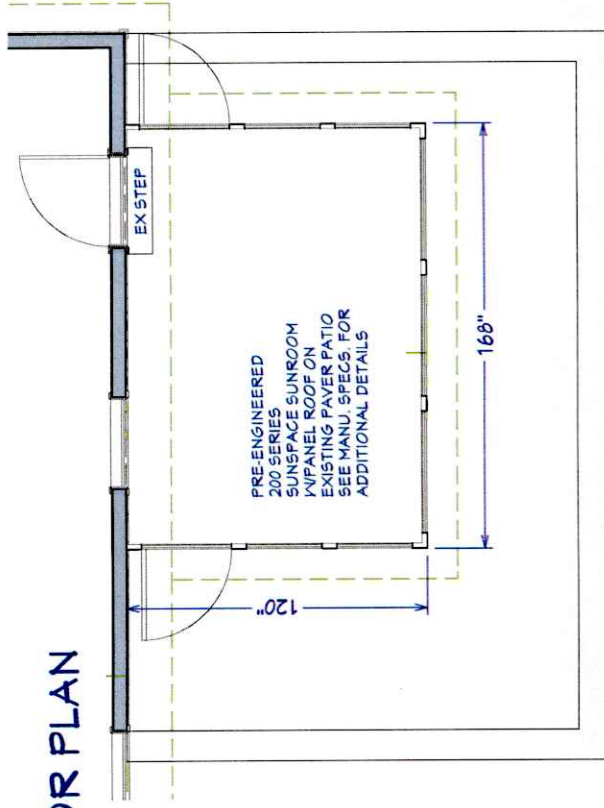
ACCEPTANCE OF PROPOSAL
It is agreed and understood by and between the parties that this agreement constitutes the entire understanding between the parties. Customer(s) hereby acknowledge that customer(s) have read this agreement and have received a completed, signed, and dated copy of this agreement on the date first written below. Customer(s) acknowledge they were verbally informed of their right to cancel this transaction. Customer(s) agree(s) to make payments as shown. For minor defect or omission, owners may retain the 10% final payment until rectified. Interest on installment payments past due or unpaid balance will be incurred at 1.5% per month. County permits and all inspections will be provided by the contractor. Municipal permits (if applicable) will be obtained by the contractor and billed separately. (Additional terms on back)

DELAWARE NOTICE OF CANCELLATION
You, the buyer, may cancel this transaction without any penalty or obligation within 3 business days from receipt of deposit. If cancellation occurs beyond 3 business days, deposits are non-refundable.

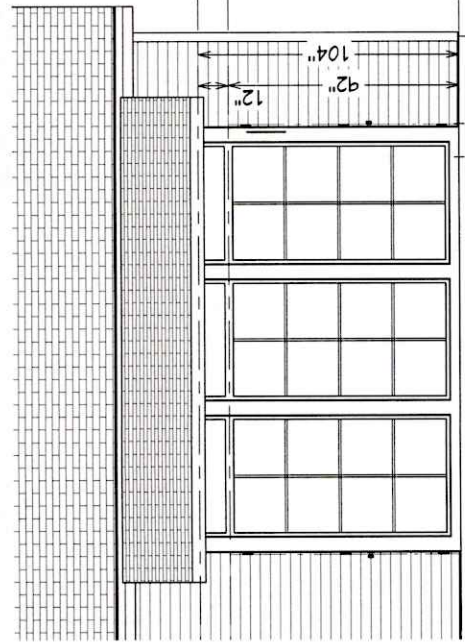
Patlo Systems, Inc.
Tyler Miller 6/30/25
Company Representative Date

Margaret Rivers 7/1/2025
B248274EA8964D4
Customer(s) Date

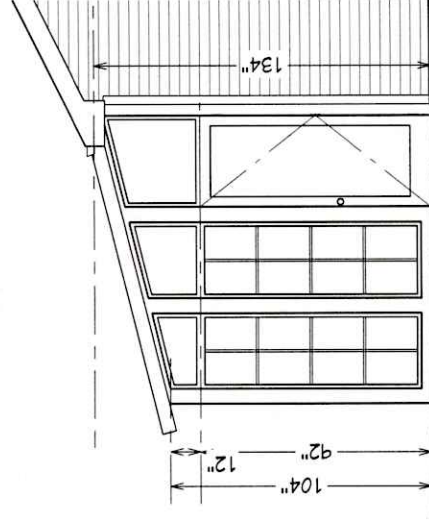
MAIN FLOOR PLAN 1/4"=1'-0"



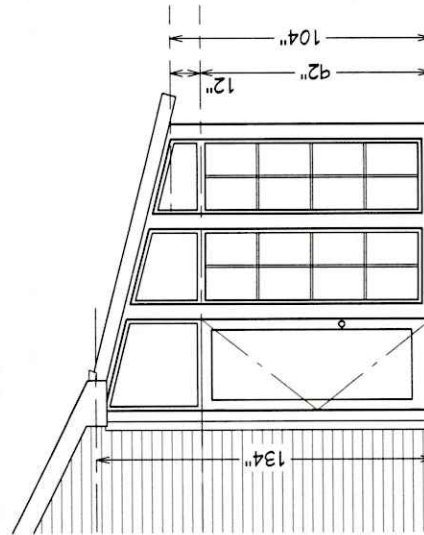
TIE ROOF INTO
EXISTING FASCIA



FRONT WALL



RIGHT WALL



LEFT WALL

REVISION	DATE	BY	DESCRIPTION

RIVERS RESIDENCE
200 SERIES SUNROOM
12 WHISTLING DUCK DR
BRIDGEVILLE, DE 19933

302-644-6540
866-644-6540
Patio

DATE: 8/5/2025
SCALE:
SHEET:



SUNSPACE SPECIFICATION SHEET

Customer: Patio Systems Inc.

Order Date: Jun 30, 2025

Tag Name: Rivers

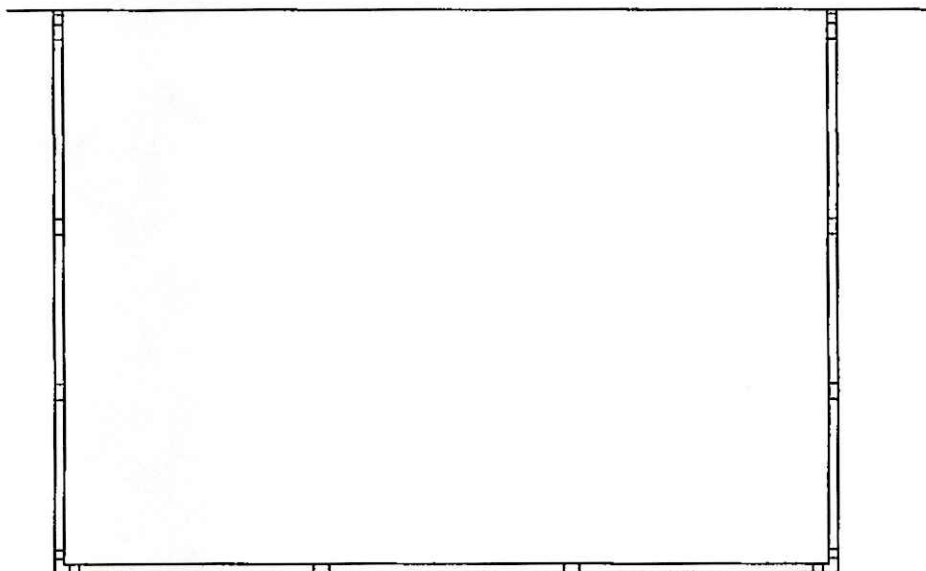
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Room Specifications

10' 0" Projection x 14' 0" Width

Room Style: Studio
Wall Type: Model 200
Backwall Height: 138" Incl. Roof
Frontwall Height: 108" Incl. Roof
Framing Colour: White
Ext. Panel Skin: White Alum. Stucco
Int. Panel Skin: White Alum. Stucco
Kneewall: 6-3/4" Solid Panel
Transom Style: Clear Vinyl
Cut Pitch: Yes

Room Layout



Floor Specifications

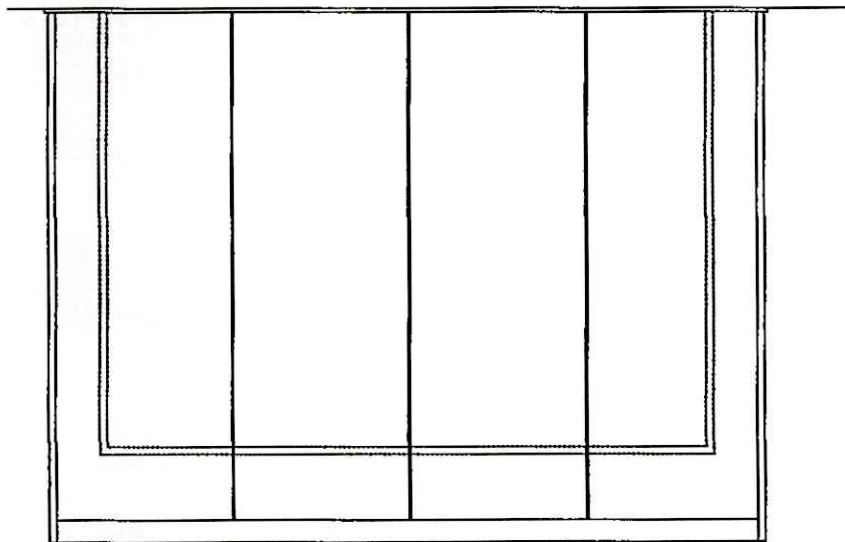
Use Existing Floor

Roof Specifications

11' 6" Projection x 16' Width

Roof Type: I-Beam
4" x 48" O.C. x 1 lb
Roof Pitch: 3 / 12 (14.04°)
Int. Panel Color: White
Ext. Panel Color: White
Gutter Color: —
Downspout Kits: 0
Downspout Color: —

Roof Layout



Windows and Doors

Window Type: Vertical 4 Track
Window Color: White
Vinyl Tint: Clear
Screen Type: Better Vue Insect Screen
Total of 2 Doors:

Left Wall: V4T Entry Door
36" x 92-1/8", LHH, Outswing, 6-3/4"
Kneewall, Clear, Silver Satin Hardware,
Clear Vinyl Trapezoid Transom

Right Wall: V4T Entry Door
36" x 92-1/8", RHH, Inswing, 6-7/8"
Kneewall, Clear, Antique Brass Hardware,
Clear Vinyl Trapezoid Transom

This Room is to be installed on a House

All electrical requirements to be designed and installed in accordance with appropriate electrical codes and regulations.
If required contact your local electrical authority to ensure you are following approved site procedures.

SUNSPACE SPECIFICATION SHEET

Customer: Patio Systems Inc.
Tag Name: Rivers

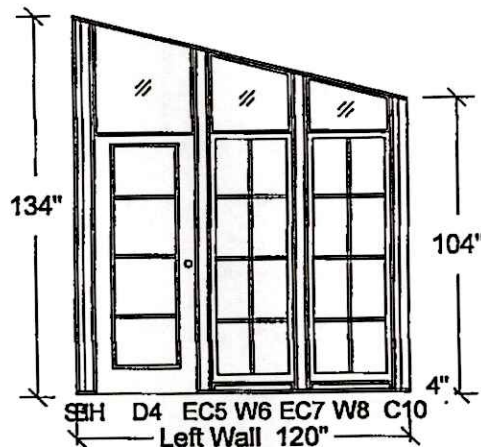
Order Date: Jun 30, 2025

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Wall Specifications

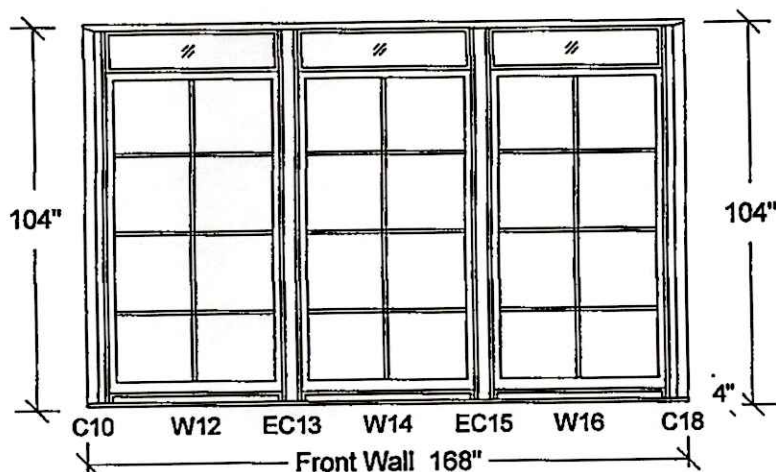
Left Wall

S1 Starter
F2 2" Solid Wall
BH3 Box Header
D4 Vinyl 4 Track Entry
Door
Clear Vinyl Trapezoid Transom
EC5 Electrical Chase
W6 29-7/8" x 88" Vertical 4 Track
Clear Vinyl Trapezoid
EC7 Electrical Chase
W8 29-7/8" x 88" Vertical 4 Track
Clear Vinyl Trapezoid
F9 2" Solid Wall
C10 90° Corner



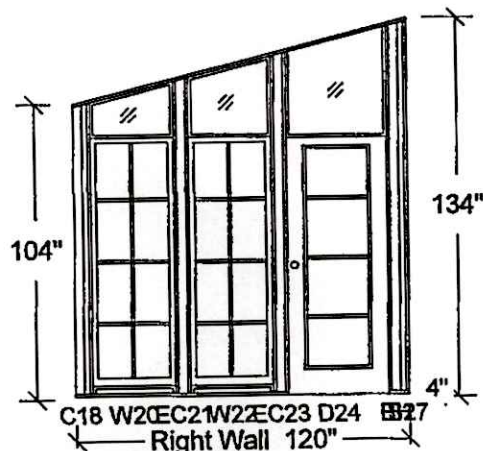
Front Wall

C10 90° Corner
F11 2-1/8" Solid Wall
W12 48-1/4" x 88" Vertical 4 Track
Clear Vinyl Transom
EC13 Electrical Chase
W14 48-1/4" x 88" Vertical 4 Track
Clear Vinyl Transom
EC15 Electrical Chase
W16 48-1/4" x 88" Vertical 4 Track
Clear Vinyl Transom
F17 2-1/8" Solid Wall
C18 90° Corner



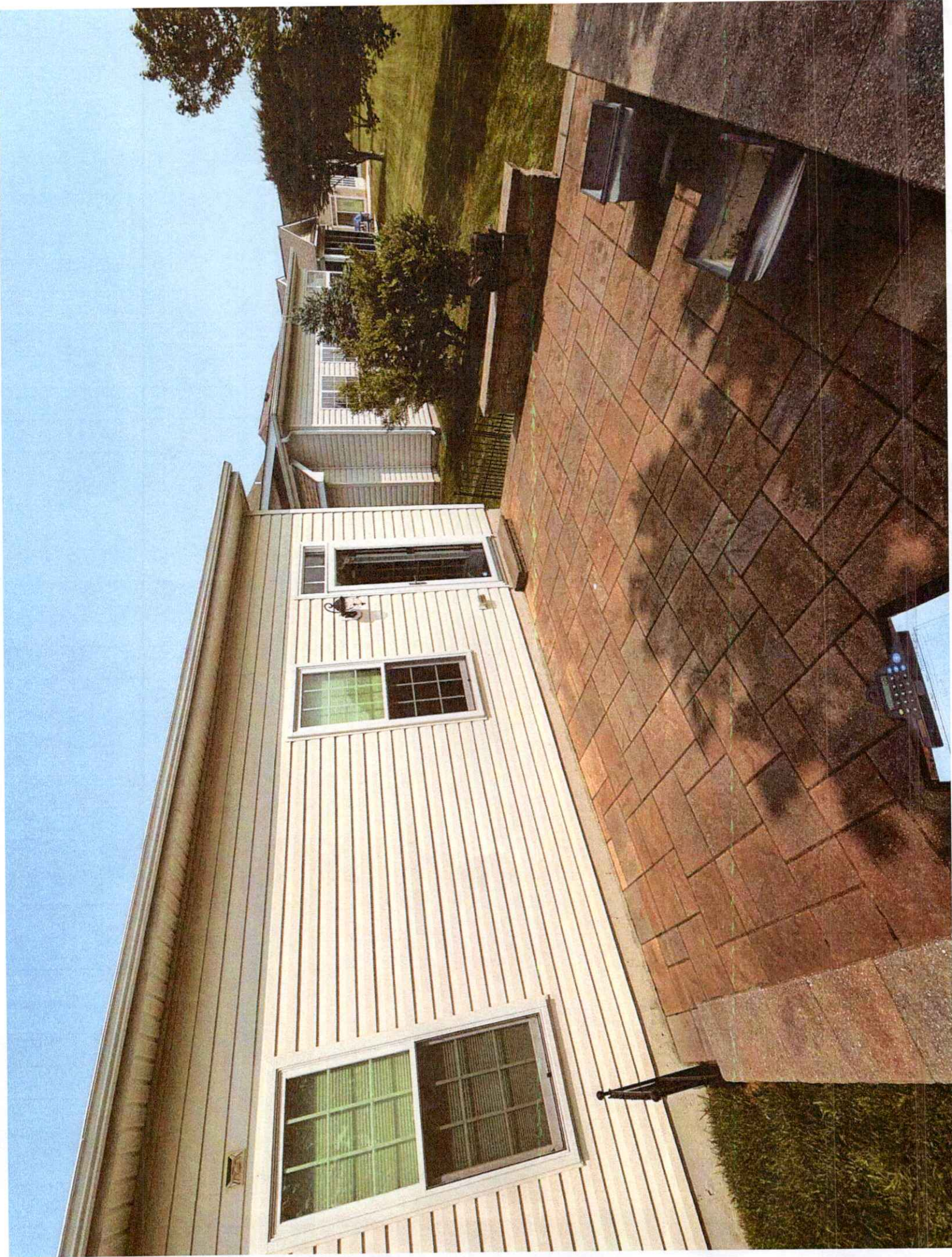
Right Wall

C18 90° Corner
F19 2" Solid Wall
W20 29-7/8" x 88" Vertical 4 Track
Clear Vinyl Trapezoid
EC21 Electrical Chase
W22 29-7/8" x 88" Vertical 4 Track
Clear Vinyl Trapezoid
EC23 Electrical Chase
D24 Vinyl 4 Track Entry
Door
Clear Vinyl Trapezoid Transom
BH25 Box Header
F26 2" Solid Wall
S27 Starter









SUNSPACE HOST ATTACHED, MONOSLOPE SUNROOM WITH EPS FOAM ROOF PANELS & SOLID OR SCREENED WALLS GENERAL PERFORMANCE EVALUATION - FOR RESIDENTIAL USE ONLY

TO BE USED ALONG WITH A DESIGN PROFESSIONAL'S SITE SPECIFIC EVALUATION & CERTIFICATION FOR PERMIT.
NO CERTIFICATION IS OFFERED FOR USE WITHOUT A SITE SPECIFIC PLAN UNDER SEPARATE CERTIFICATION

VARIOUS CONFIGURATIONS VALID UNDER THE FOLLOWING RANGES OF SITE-SPECIFIC DESIGN CRITERIA:
DESIGN LOADING: LOCAL DESIGN CONDITIONS NOT TO EXCEED THE FOLLOWING:
ULT WIND SPEED: 160 MPH; **EXPOSURE CATEGORY:** C; **GROUND SNOW LOAD:** UP TO 60 PSF
REFER DESIGN TABLES HEREIN FOR SYSTEM REQUIREMENTS UNDER VARIOUS DESIGN CONDITIONS



SUNSPACE

PREPARED
BY



- INDEX**
SHEET # | DESCRIPTION
1. COVER & DESIGN CRITERIA
 2. ENGINEER'S NOTES
 3. SYSTEM VIEWS - ALLOWABLE SIZES AND DIMENSIONS
 4. ALLOWABLE DESIGN TABLE
 5. TYPICAL CONNECTION DETAILS
 6. TYPICAL CONNECTION DETAILS
 7. ANCHORAGE TO HOST
 8. SYSTEM COMPONENTS

DESIGNED FOR:
LOADING UP TO:
ULT WIND SPEED:
160 MPH; EXP CAT: C;
GROUND SNOW
LOAD: UP TO 60 PSF

THIS DOCUMENT CAN ONLY BE USED FOR
ONE PERMIT SUBMITTED BY: MAY 10, 2025
VALID ONLY FOR ZIP CODE: 19973 not a
municipal building
VALID ONLY FOR USE BY: PATIO SYSTEMS
PATIO SYSTEMS, INC.
PATIO SYSTEMS, INC. 4510
The information on this document is provided for the use of the user and is not intended to be used as a substitute for the user's own engineering judgment. The user is responsible for the design and construction of the structure and for obtaining all necessary permits and approvals. The user is also responsible for the safety of the structure and for the safety of the people using it. The user is not to be held responsible for any damage or injury caused by the use of this document.



THIS SUBMITTAL IS FOR STRUCTURAL PURPOSES ONLY. THIS PRODUCT SHALL BE CONSTRUCTED USING
PARTS MANUFACTURED BY THE MANUFACTURER. THE MANUFACTURER'S SPECIFICATIONS, ANY INFORMATION NOT
REPRESENTED HEREIN SHALL FOLLOW MANUFACTURER'S SPECIFICATIONS FOR THIS PRODUCT.
EXCLUSIONS:
THE DESIGN OF ANY EXISTING HOST STRUCTURE, MECHANICAL ELEMENTS, EGRESS, WATERPROOFING ELECTRICAL
WIRING, FAN BEAMS, FANS, OR ANY ACCESSORY ATTACHMENTS ARE NOT INCLUDED WITH THIS DESIGN OR
CERTIFICATION U.N.O
SCOPE OF WORK:
DESIGN AND CERTIFICATION OF A NEW, HOST ATTACHED, RESIDENTIAL, SUNSPACE SUNROOM WITH FOAM PANEL,
ROOFING SOLID OR SCREENED WALLS AS DETAILED HEREIN
PROJECT INFORMATION:
PROJECT NAME: SUNSPACE MONOSLOPE ROOF SUNROOM
ROOF TYPE: FOAM PANEL, ALUMINUM SUN ROOF. REFER ADDITIONAL ENGINEERING FOR PANEL TYPE, BRAND, AND
ALLOWABLE SPANS UNDER SITE-SPECIFIC LOADING CONDITIONS
BASE CONNECTION: BASE TRUCK WITH 1/4" Ø SCREW ANCHORS TO CONCRETE SLAB OR 1/4" LAG SCREWS TO
WOOD DECK AS DETAILED HEREIN
HOST WALL CONNECTION: 1/4" Ø TAPCON OR SCREW ANCHOR TO GROUTED CMU WALL OR 1/2" Ø WOOD LAG
SCREWS TO WOOD FRAMED WALL OR PASCAL

DESIGN CRITERIA:
INTERNATIONAL BUILDING CODES & RESIDENTIAL CODE (2018 & 2021)
ASCE 7-16 / 7-22 LOAD COMBINATIONS
1. DEAD LOADING
1.1. ROOF DEAD LOAD..... 3 PSF
2. LIVE LOADING
2.1. ROOF LIVE LOAD..... 20 PSF
3. WIND LOADING INPUTS
3.1. METHOD/LOCUS..... OPEN STRUCTURE
3.2. ULTIMATE WIND SPEED..... (UP TO 160 MPH (SEE DESIGN TABLES)
(ASD = SQRT(0.6)*VULT)
3.3. WIND EXPOSURE FACTOR..... C
3.4. WIND RISK CATEGORY FACTORS..... Kd=0.85, G=0.85, Kz=1.0 (FLAT TERRAIN)
3.5. DISTURBANCE FACTORS..... UP TO 9 FT
3.7. MEAN ROOF HEIGHT..... 0 FT (AT GRADE)
3.8. SYSTEM MOUNTING HEIGHT..... UP TO 60 PSF (SEE DESIGN TABLES)
4. SNOW LOADING
4.1. GROUND SNOW LOAD..... 1.0
4.2. ROOF SNOW LOAD FACTOR..... 1.2
4.3. SNOW LOAD IMPORTANCE FACTOR..... PER CODE
4.4. THERMAL FACTOR..... ALL ROOF PANEL / WALL / WINDOW /
4.5. SNOW DRAFT..... DOOR SYSTEMS TO BE DESIGNED &
5. SEISMIC LOADS (NOT TO CONTROL)..... LATERAL LOADS TO BE DESIGNED PER
5.1. RISK CATEGORY..... SEPARATE, CERTIFIED ENGINEERING
5.2. SITE CLASS..... UP TO C
5.3. SEISMIC DESIGN CATEGORY (SDC).....
5.4. SEISMIC LOADING DOES NOT CONTROL DESIGN

6. RESULTANT MAIN WIND FORCE RESISTING SYSTEM ASD DESIGN LOAD COMBINATIONS
DESIGN LOADING (WIND UP TO 160 MPH / EXP C OR GROUND SNOW LOAD UP TO 60 PSF
ACTING ON HOST-ATTACHED, MONOSLOPE SUNROOM SYSTEM)
6.1. GRAVITY (+)..... REFER DESIGN TABLES HEREIN
6.2. UPLIFT (-)..... REFER DESIGN TABLES HEREIN
6.3. LATERAL..... REFER DESIGN TABLES HEREIN



VISIT E.C.A.L.C.I.O./SUNSPACE
FOR ENGINEER CERTIFIED DETAILS & MORE INFORMATION ABOUT THIS DOCUMENT OR SCAN THIS QR CODE
VISIT ENGINEERINGEXPRESS.COM/ENGINEERINGEXPRESS
FOR ADDITIONAL PLANS, REPORTS & RESOURCES



SUNSPACE MODULAR ENCLOSURES, INC
300 TORONTO STREET
NEWCASTLE-ONTARIO CANADA
(905) 987 - 2316

STUDIO SUNROOM ENCLOSURE
GENERAL PERFORMANCE EVALUATION
FBC 7TH (2020) & 8TH (2023) EDITIONS, IBC (2018 & 2021)

**ENGINEERING
EXPRESS**
POSTAL ADDRESS:
2234 NORTH FEDERAL HWY #7664
BOCA RATON, FL 33431
ENGINEERINGEXPRESS.COM

SCALE: NTS UNLESS NOTED
23-66701
1

REMARKS	DRWN	CHKD	DATE
INIT ISSUE (20-28908)	CCB	AEM	12/01/21
FBC 2023 (23-66721)	CLV	CCB	11/29/23

THIS DOCUMENT IS THE PROPERTY OF ENGINEERING EXPRESS, AND SHALL NOT BE REPRODUCED IN WHOLE OR PART WITHOUT WRITTEN CONSENT OF ENGINEERING EXPRESS. ALTERATIONS, ADDITIONS, OR OTHER MARKINGS TO THIS DOCUMENT ARE NOT PERMITTED AND INVALIDATE OUR CERTIFICATION.

1. THIS STRUCTURE HAS BEEN DESIGNED AND SHALL BE FABRICATED IN ACCORDANCE WITH THE STRUCTURAL

- PROVISIONS OF THE BUILDING CODES REFERRED HEREIN. STRUCTURES SHALL BE PROTECTED BY SUCH WALL, INTERIOR AND EXTERIOR FINISHES, AND SHALL INVESTIGATE AND CONFORM TO ALL LOCAL GOV. CODE AMENDMENTS WHICH MAY APPLY AND, BEING, DESIGN CRITERIA OR SPANS BEYOND STATED HEREIN MAY REQUIRE ADDITIONAL SITE SPECIFIC SEALED ENGINEERING. CONSIDER POSSIBLE IMPOSING LOADS ON ROOF, INCLUDING BUT NOT LIMITED TO ANY CONCENTRATED LOADS WHICH MAY JUSTIFY GREATER DESIGN CRITERIA AT STRUCTURAL MEMBERS AS SHOWN HAVE BEEN DESIGNED OR SHALL BE RESPONSIBLE FOR THE SUPPORT OF ANY ADDITIONAL LOADS AND FORCES IMPOSED DURING MANUFACTURING, TRUCKING, BLECTING, AND HANDLING.
3. **SUNROOM SYSTEM:** AS DETAILLED, SUN ONLY BE DESIGNED TO BE USED AS EITHER A DECK OR A NON-HABITABLE ADDITION TO AN EXISTING PERMANENT (NON-TEMPORARY) HOST STRUCTURE. SYSTEM SHALL NOT BE INSTALLED TO TEMPORARY, MOBILE, OR MODULAR HOST STRUCTURES WITHOUT ADDITIONAL REVIEW AND APPROVAL BY THE AUTHORITY HAVING JURISDICTION.
4. SPECIAL INSPECTIONS MAY BE REQUESTED OR REQUIRED AT THE DISCRETION OF THE AUTHORITY HAVING JURISDICTION. IN AREAS OF SEISMIC DESIGN, THE DESIGNATED SEISMIC QUALIFICATION, AND ANCHORAGE REQUIRING SATISFACTION IN ACCORDANCE WITH SECTION 13.2.2 OF ASCE 7 PER IBC 1003.1.4, AS WELL AS INSPECT RENOVATION AND VERIFY PLACEMENT PER IBC 1003.1.4.
5. **THIS SUBMITTAL IS FOR STRUCTURAL PURPOSES ONLY.** THIS PRODUCT SHALL BE CONSTRUCTED USING PARTS MANUFACTURED BY **SUNSHADE AND WITH ROOF PANELS BY SUNSPACE** OR THE CORRESPONDING SEALED ENGINEERING. ALL NON-STRUCTURAL, ELECTRICAL, MECHANICAL UNITS AND COMPONENTS SHALL BE INSTALLED AS PER THE MANUFACTURER'S RECOMMENDATIONS. ANY INFORMATION NOT REFERENCED HEREIN SHALL BE IN CONFORMANCE WITH THE MANUFACTURER'S PRODUCT. PRODUCT PARTS TAKEOFF & SCHEDULE PROVIDED BY THE MANUFACTURER MAY NOT MATCH THE INFORMATION DETAILED HEREIN. MATERIAL TAKEOFF & COORDINATION SHALL NOT BE THE RESPONSIBILITY OF THE INSTALLING CONTRACTOR TO CONTRIN THE MATERIALS, HARDWARE, AND ANY REQUIRED CONNECTION ANCHORS USED FOR INSTALLATION MATCH THE INFORMATION SHOWN HEREIN BEFORE INSTALLATION BEGINS. REFERENCE TO A QUICK REFERENCE OF PRODUCT STYLE & MATERIAL REQUIREMENTS.
- SUNROOM SYSTEM DESIGN, INSTALLATION & OPERATION:**
1. SYSTEM NOT DESIGNED TO HANDLE CONCENTRATED LOADS
 2. THE STRUCTURE SHALL NOT BE WALKED UPON AND IS NOT DESIGNED FOR HUMAN ACTIVITY OR STORAGE.
 3. NO CERTIFICATION IS OFFERED FOR WATERPROOFING, SIZING, OR OPERATION OF OUTFITTERS OF RAINFALL FROM ADJACENT ROOFS UNLESS SPECIFICALLY SHOWN HEREIN, TYP.
- STRUCTURAL MATERIALS AND CONNECTIONS**
- STRUCTURAL ALUMINUM & ALUMINUM WEELDING:**
1. ALL COMPONENTS SHALL BE STRUCTURAL ALUMINUM (6063-T6) OR STRUCTURAL ALUMINUM WEELDED TO CONFORM TO THE GOVERNING BUILDING CODE AND MATERIAL STANDARDS REFERENCED ON THIS SHEET.
 2. UNLESS OTHERWISE NOTED, ALL STRUCTURAL ALUMINUM SHALL BE MIN 1/4" THICK AND BE OF THE FOLLOWING:
 - 2.1. **CLASMS PERLINS COLLUMS** 6063-T6
 - 2.2. **ALL OTHER EXTRUSIONS** 6061-T6
 - 2.3. **FASTENERS** SS 316
 3. **STRUCTURAL ALUMINUM SHALL BE CORROSION RESISTANT AND SHALL HAVE A MINIMUM 1 1/2" BERTH FROM FALLING ALUMINUM SHALL HAVE A MINIMUM 1 1/2" BERTH FROM FALLING.**
 4. **BEARING SUPPORT UNLESS NOTED OTHERWISE.**
 5. **WHERE ALUMINUM IS IN CONTACT WITH OTHER METALS**

CONNECTIONS

- [illegible]

DESIGN DETAILING AND CERTIFICATION

1. EXISTING ROOF STRUCTURE, FOUNDATIONS, INCLUDING REINFORCED CONCRETE SLABS, CONCRETE FOOTINGS, OR WOOD DECKS IS NOT INCLUDED WITH THIS DRAWING SET.
 2. ALL EXISTING FOUNDATIONS SHALL BE SEPARATELY DESIGNED BY A LICENSED PROFESSIONAL ENGINEER TO BE ABLE TO SUPPORT THE UNIFORM, POINT, AND IMPOSED LOADING FROM THE NEW STRUCTURE DETAILED HEREIN.
 3. ALL STRUCTURAL FOUNDATIONS HOSTING THE NEW SWIMMOOR STRUCTURE DETAILED HEREIN SHALL BE DESIGNED TO MEET ALL APPLICABLE DESIGN SPECIFICATIONS OUTLINED IN THE A/E / S'S REFERENCED STANDARDS, AND ANY LOCAL REQUIRED STRUCTURAL CONSIDERATIONS, FOR FIRST PROTECTED, FOUNDATION SETTLEMENT, AND OTHER LOAD REQUIREMENTS.
- CONCRETE**
1. CONCRETE MIXTURES SHALL BE DESIGNED TO REACH A COMPRESSIVE STRENGTH OF 3,000 PSI IN 28 DAYS.
 2. ALL MIXING, TRANSPORTING, PLACING, & CURING OF CONCRETE SHALL BE IN ACCORDANCE WITH THE A/E / S'S STANDARDS. ALL MIXTURES ARE TO BE USED WITHOUT THE WRITTEN APPROVAL OF THE ABOVE-SIGNED ENGINEER.
 3. APPROVAL OF THE ABOVE-SIGNED ENGINEER.
 4. THE REQUIREMENTS OF ASTM C150, AGGREGATES TO MEET ASTM C125, PORTLAND CEMENT SHALL BE A MINIMUM OF 5% AND A MAXIMUM OF 7%.
 5. CONCRETE PLACING AND IMMEDIATELY AFTER DETESTIFICATION SHALL BE THOROUGHLY COMPACTED BY MEANS OF MECHANICAL VIBRATION.
- REINFORCING STEEL**
1. REINFORCING STEEL SHALL BE PREHEATED BARS OF INTERMEDIATE GRADE NEW BILLET STEEL, CONFORMING TO CURRENT REQUIREMENTS OF ASTM A615, GRADE 60 (U.O.I.), FREE FROM OIL, LOOSE SCALE AND LOOSE RUSTED AND BENT, LAPPED, PLACED, SUPPORTED AND FASTENED ACCORDING TO THE A/E DETAILING MANUAL (S-60) AND AS SHOWN ON THE DRAWING.
 2. ALL WELDING WELD FABRIC IS TO CONFORM TO ASTM A183M MINIMUM YIELD STRENGTH OF 85 KSI.
 3. CLIP COVER FOR REINFORCEMENT SHALL BE AS FOLLOWS:
UNLESS OTHERWISE NOTED TO: EARTH: 3"
UNPAVED FACES EXPOSED TO WEATHER: 3"
PAVED FACES EXPOSED TO WEATHER: 2"
 4. ALL STEEL SHALL BE SECURELY YIELD IN PLACE DURING PLACING OF CONCRETE. IF REQUIRED, ADDITIONAL MEASURES SHALL BE TAKEN TO PREVENT CONCRETE FROM PROVIDING SUPPORT FOR ALL BARS.
 5. STRUCTURAL CONCRETE SLABS SHALL BE 4" THICK MINIMUM

PROVIDE INFORMATION FOR A SPECIFIC

- CONDITIONS DIFFERENT FROM THE CONDITIONS DETAILLED HEREIN, A LICENSED ENGINEER OR REGISTERED ARCHITECT SHALL PREPARE SPECIFIC DOCUMENTS FOR USE IN SUCH SYSTEMS. INSTALLED USING THIS CERTIFIED DRAWING SHALL BE CONSTRUED TO THE LIMITATIONS SET FORTH BY DIMENSIONS, DETAILS, OR NOTES HEREON. USE OF THIS SIGNED & SEALED DOCUMENT CONSTITUTES ACCEPTANCE SELECTED AND INSTALLATION.
3. FABRICATION OR SHOP DRAWINGS, SHOP DRAWINGS SHALL BE CREATED AND APPROVED BY OTHERS, AND BE INSTALLED, FOR E.O.R. REVIEW AND APPROVAL BEFORE INSTALLATION.
4. DIMENSIONS ARE SHOWN TO ILLUSTRATE VARY SIZES, BUT SHALL REMAIN IN CONFORMANCE WITH THE ALL FIELD DIMENSIONS PRIOR TO INSTALLATION, AND VERIFY THAT PROPOSED DIMENSIONS AND FIELD CONDITIONS AGREE WITH THIS PROPOSED PLAN.
5. ENGINEERING EXPRESS HAS NOT VISITED THIS JOBSITE, THEREFORE, THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING NECESSARY DATA AND MEASUREMENTS, ENGINEERING EXPRESS SHALL NOT BE HELD RESPONSIBLE OR LIABLE IN ANY WAY FOR ERRONEOUS OR INACCURATE DATA OR MEASUREMENTS. WORK SHALL BE FIELD VERIFIED DATA ON MEASUREMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR GIVING AN ACCURATE RECORD TO THE FIELD PERSONNEL AND GIVEN AN OPPORTUNITY TO REEVALUATE OUR WORK UPON DISCOVERY OF ANY INACCURATE INFORMATION PRIOR TO MODIFICATION OF EXISTING FIELD CONDITIONS AND FABRICATION AND INSTALLATION OF MATERIALS.
6. THIS DOCUMENT SHALL NOT BE USED OR REPRODUCED WITHOUT THE ORIGINAL SIGNATURE &, RAISED SEAL OF THE CONTRACTOR SUPPLIED DATA AND MEASUREMENTS. MARKINGS TO THIS DOCUMENT ARE NOT PERMITTED AND ANY CHANGES, ALTERATIONS OR ADDITIONS MADE TO THIS DOCUMENT ARE NOT TO BE ACCEPTED.
7. ENGINEER SEAL AFFIXED HERETO VALIDATES STRUCTURAL DESIGN AS SHOWN ONLY. USE OF THIS SPECIFICATION BY CONTRACTOR, ET AL, INDENENTRIES SAVES FAMILIES THIS DESIGN AS SHOWN ONLY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COST & MATERIALS, RESULTS FROM MATERIALS, FABRICATION, SYSTEM SELECTION, & CONSTRUCTION PRACTICES BEYOND THAT WHICH IS CALLED FOR BY LOCAL, STATE, & FEDERAL CODES & FROM DEVIATIONS OF THIS PLAN.
8. DIMENSIONS, ADDITIONS, HIGH-LOWING, OR OTHER CHANGES TO THIS DOCUMENT ARE ONLY PERMITTED TO SHOW SITE-SPECIFIC CONDITIONS, HOWEVER, ANY CHANGES, ALTERATIONS OR ADDITIONS MADE TO THE CONTENT OF THIS DOCUMENT WILL INVALIDATE THIS DOCUMENT.
9. EXCEPT AS EXPRESSLY PROVIDED HEREIN, NO ADDITIONAL CERTIFICATIONS OR AFFIRMATIONS ARE INTENDED

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FRANK L. BENvenuto
LIC'ENSE
No. 15009
PROFESSIONAL
ENGINEER
DELAWARE
06/19/2025

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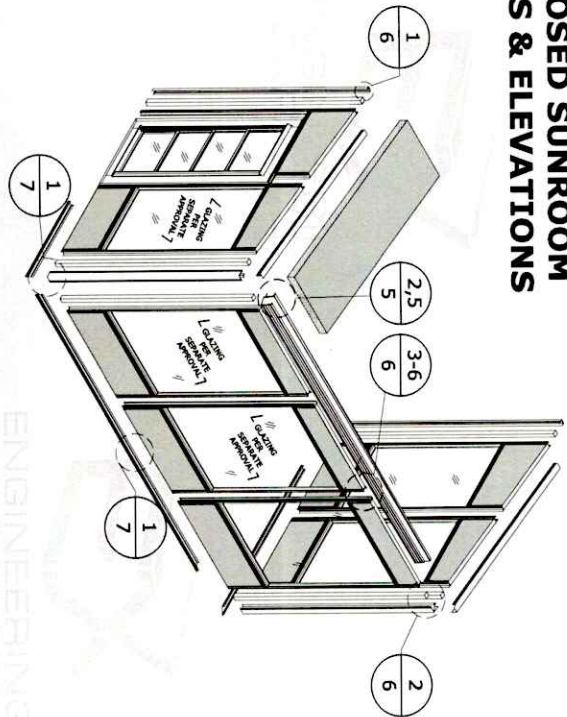
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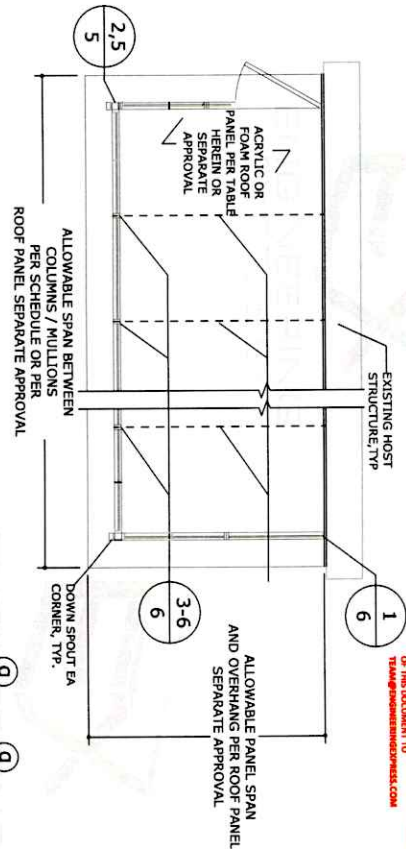
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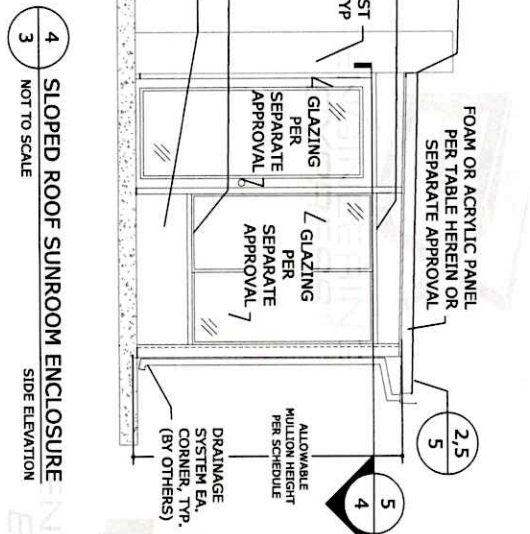
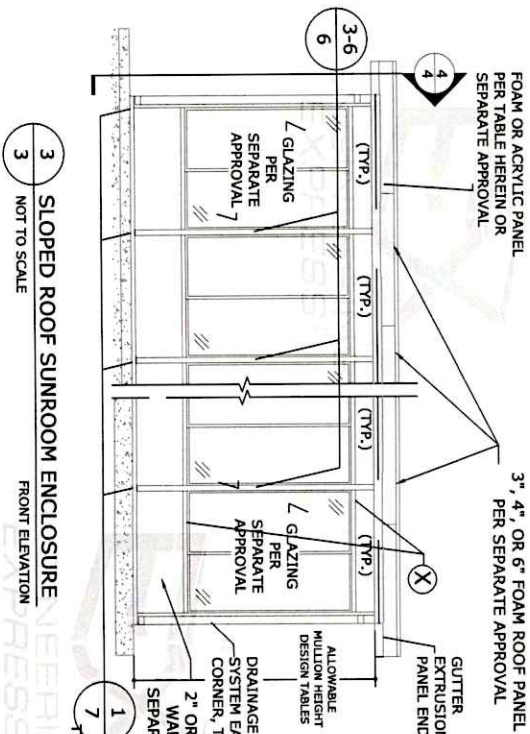


ROOF PANEL SELECTION NOTE:
SUNSPACE ALUMINUM - ALUMINUM SKINNED PANELS, OSB-ALUMINUM SKINNED PANELS, OR ACRYLIC PANELS SHALL BE ACCEPTABLE WITH ADDITIONAL CERTIFIED ALLOWABLE PANEL SPAN ENGINEERING. REFER DESIGN TABLES HEREIN FOR REQUIRED DESIGN PRESSURES FOR INSTALLATION IN VARIOUS WIND / SNOW CONDITIONS



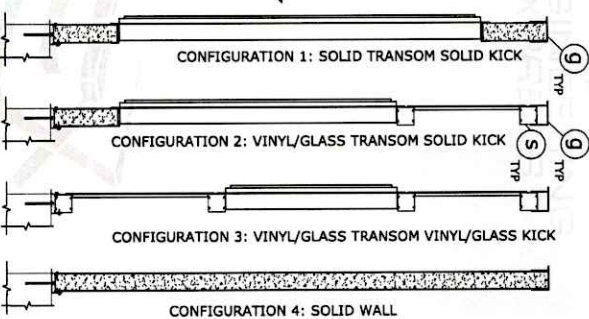
1 SLOPED ROOF SUNROOM ENCLOSURE
ISO VIEW
3 NOT TO SCALE

2 SLOPED ROOF SUNROOM ENCLOSURE
PLAN VIEW
3 NOT TO SCALE



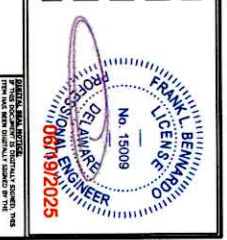
3 SLOPED ROOF SUNROOM ENCLOSURE
FRONT ELEVATION
3 NOT TO SCALE

4 SLOPED ROOF SUNROOM ENCLOSURE
SIDE ELEVATION
3 NOT TO SCALE



5 SIDE WALL
CONFIGURATION OPTIONS
PLAN SECTION
3 NOT TO SCALE

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23-66701
3

1. DESIGN TABLE NOTES
- 1.1. THE MAXIMUM ALLOWABLE DESIGN CONDITIONS HAVE BEEN DETAILED FOR EACH MILLION. INSTALLED MEMBERS SHALL NOT EXCEED THE SITE CONDITIONS LISTED OR THE ALLOWABLE HEIGHT PER THE DETAILED PANEL SPACING.
- 1.1. 6'-0" SPANS & CORRESPONDING MILLION HEIGHTS TO BE APPLICABLE ONLY FOR NON-STRUCTURAL SLIDING DOOR ASSEMBLYS, REFER MANUFACTURER SPECIFICATIONS FOR DOOR ASSEMBLY AND INSTALLATION.
2. SYSTEM ELEMENTS DESIGNED BY OTHERS (SUCH AS ROOF PANELS, WALL PANELS, WINDOWS, AND DOORS) SHALL BE NOTED PER SEPARATE, CERTIFIED ENGINEERING FOR THE CALCULATED DESIGN LOADS LISTED FOR THE APPLICABLE DESIGN CONDITIONS.
- 2.1. ALTERNATE CALCULATED DESIGN PRESSURES SHALL BE ACCEPTABLE AS SUBSTITUTE WITH SEPARATE, CERTIFIED ENGINEERING.
3. HOST STRUCTURE WALL ELEMENT SHALL BE DESIGNED & CERTIFIED TO RESIST RESISTANT MAXIMUM SHEAR LOADS AS DETAILED.
4. ANCHORS SHALL BE SELECTED PER THE EXISTING HOST STRUCTURE WALL CONDITION & SHALL BE INSTALLED TO STRUCTURAL WALL / ROOF MEMBERS OR ADDED STRUCTURAL BRACING.
5. ANCHORS SHALL MAINTAIN A 2x EMBEDMENT INTO STRUCTURAL MEMBERS (NOT INCLUDING EMBEDMENT INTO NONSTRUCTURAL COVERINGS OR STUCCO) AND SHALL



ALL ROOF PANEL / WALL WINDOW
DOOR SYSTEMS TO BE DESIGNED &
RATED FOR THE ASD DESIGN LOAD
VALUES DETAILED BELOW OR
SITE-SPECIFIC LOADING VALUES PER
SEPARATE, CERTIFIED ENGINEERING

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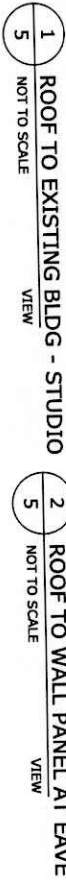
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ROOF:



BEAM SPLICE CONNECTION		VIEW
3	NOT TO SCALE	
5		

ROOF:



6	ROOF PANEL TO ROOF PANEL
5	NOT TO SCALE VIEW

7 ROOF PANEL TO ROOF PANEL

5	SCALE: NTS UNLESS NOTED	23-66701	REMARKS INT ISSUE (20-26908) FBC 2023 (23-66721)	DRWN CHKD DATE CCB AEM 12/01/21 CLV CCB 11/29/23

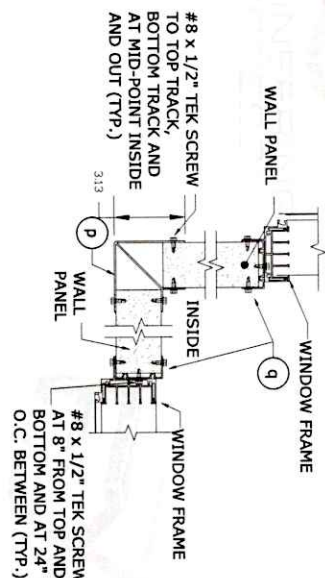
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WALLS:

[2] 1/4" Ø ITW STAINLESS STEEL TAPCON INTO WALL W/ 3" EMBEDMENT AND 3" EDGE DISTANCE, SPACED 16" O.C

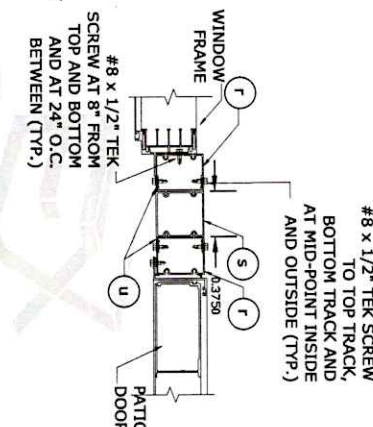
[2] 1/4" Ø S.S. HILT KWIK-CON II + INTO BLOCK FACE W/ 1-3/4" EMBEDMENT AND 3" MINIMUM EDGE DISTANCE, SPACED 16" O.C.

[2] 1/2" Ø S.S. WOOD LAG SCREWS INTO WALL W/ 3" THREAD ENGAGEMENT AND 3/4" MINIMUM EDGE DISTANCE SPACED 16" O.C. MIN



2	CORNER COLUMN	VIEW
6	NOT TO SCALE	

The diagram illustrates the internal structure of a window assembly. It shows two window frames, one labeled 'INSIDE' and the other 'OUTSIDE'. The frames are connected by a central mullion. The mullion is secured with screws, labeled '#8 x 1/2" TEK SCREW @ MALE/FEMALE JUNCTION WITH TOP & BOTTOM TRACK AND MID-POINT OF MALE/FEMALE CHANNELS'. The top and bottom tracks are also secured with screws, labeled '#8 x 1/2" TEK SCREW @ 8" FROM TOP AND BOTTOM AND AT 24" O.C. BETWEEN (TYP.)'. The window frames are shown in a cross-section view, revealing the internal structure and the location of the screws.



4	MULLION TO WINDOW/DOOR	VIEW
6	NOT TO SCALE	

5	MILLION TO WALL/WINDOW
6	NOT TO SCALE

6 MILLION 10 WINDOW
6 NOT TO SCALE VIEW

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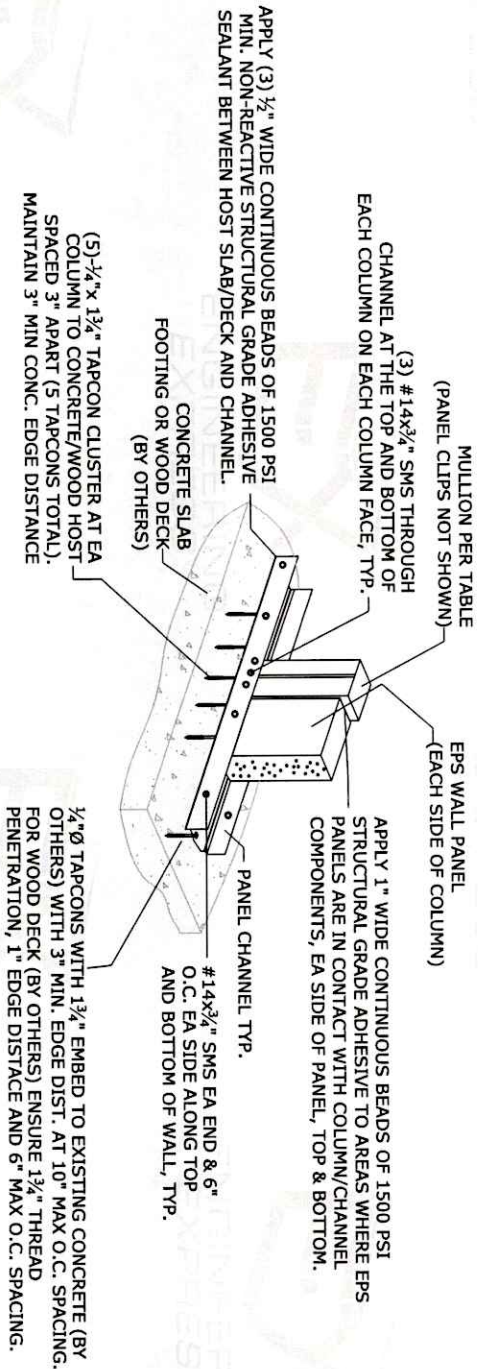
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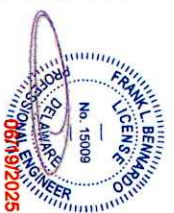
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1 PANEL WALL AND MULLION ANCHORAGE
7 SCALE: 1" = 12"
ISO

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Heritage Shores Homeowner's Association, Inc. COVENANTS COMMITTEE MEETING MINUTES

MEETING DATE: August 26, 2025

MEETING LOCATION: Virtual via Microsoft Teams

CALLED TO ORDER: 1:00 pm

ATTENDANCE: John Vrabel, Paula Johnson & Paul Jeannin, Covenants Committee
(ANTICIPATED) Richard Kennedy, Community Management

INTRODUCTION: Paul Jeannin provided a brief summary of the Covenants Process.

AGENDA APPROVAL: Approval of the Agenda for the 8/26/25 Covenants Committee Meeting.
Motion by John Vrabel / Seconded by Paula Johnson
(Motion for APPROVAL of the Agenda is with unanimous consent).

MINUTES APPROVAL: Approval of the Minutes for the 7/22/25 Covenants Committee Meeting.
Motion by John Vrabel / Seconded by Paula Johnson
(Motion for APPROVAL of the Minutes is with unanimous consent).

OLD BUSINESS: 1) Informational listing Final Compliance Inspections by Management:

Richard Kennedy (Management) and John Vrabel (Committee Member) conducted Final Compliance Inspections on August 26, 2025, and found the following projects to be approved for Final Compliance:

- App #24-46 - 117 Waterside Dr - Garage Floor Coating.
- App #24-54 - 27 Ruddy Duck Ln - Shutter and Door Color change.
- App #25-07 - 335 Heritage Shores Cir - Generac Generator install.
- App #25-12 - 101 Winged Foot Dr - Convert Screen Porch to 3-Season Room.
- App #25-17 - 67 Champions Dr - Replace Windows, Install Sliding Door, Add Trim and Molding to 3-Season Room.
- App #25-22 - 142 Widgeon Way - Awning Installation.
- App #25-23 - 11 Harlequin Loop - Awning Installation.
- App #25-33 - 341 Heritage Shores Cir - Paver Patio Installation.

2) Ratify the following application **approved** via unanimous email:

App. #	Address	Proposal Improvement (s)	Email Vote Date
25-28A	339 Heritage Shores Cir	Patio Amendment	7/31/2025

Motion by John Vrabel / Seconded by Paula Johnson
(Motion to RATIFY the approval is with unanimous consent).

GUEST FORUM:

- 1) Homeowner's having questions regarding the process or the Design Guidelines.
 - Alejandra (Allie) Orellana, Brookfield Residential, Observation
- 2) Homeowner's having questions regarding the applications currently under review.

Joseph & Corinne Riley, Application #25-40
 William Engel, Applications #25-42 and #25-47
 Frank & Donna Bucci, Application #25-45

NEW BUSINESS:

- 1) Review of the following applications:

App. #	Address	Proposal Improvement (s)	Decision
25-34	72 Whistling Duck Dr.	Patio Enclosure	Approved
25-40	13 Waterside Dr.	Convert Porch to a 3-Season Room	Approved
25-41	107 Winged Foot Dr.	Patio	Approved
25-42	347 Heritage Shores Cir.	Solar Panels	Approved
25-43	110 Waterside Dr.	Install New Front Door with Color Change	Approved
25-44	55 Whistling Duck Dr.	Retractable Awning	Approved
25-45	42 Amanda's Teal Dr.	Replace Existing Windows on Home, Install New Front Door with Color Change, Install New Storm Door, Replace Existing Sunroom Windows and Add Knee Wall.	Approved
25-46	23 Gray Fox Ln.	Apply Concrete Coatings to Front Porch and Lead Walk, and Rear Patio including Waterfalls	Approved
25-47	347 Heritage Shores Cir.	Deck	Approved

Note: See file at Management Company for additional details including any notes & approval stipulations. All Votes listed above are unanimous unless otherwise noted. John Vrabel motioned to accept and confirm the decisions listed above and that motion was seconded by Paul Jeannin (Motion to ACCEPT & CONFIRM DECISIONS is with unanimous consent).

EXECUTIVE SESSION:

1:56 to 1:58 pm – Motion to enter and adjourn by Paul Jeannin / Seconded by John Vrabel. Discussed Violation Report. Violation Report Violation Report

NEXT MEETING:

September 28, 2025, at 1:00 p.m. – Virtual Meeting via Microsoft Teams

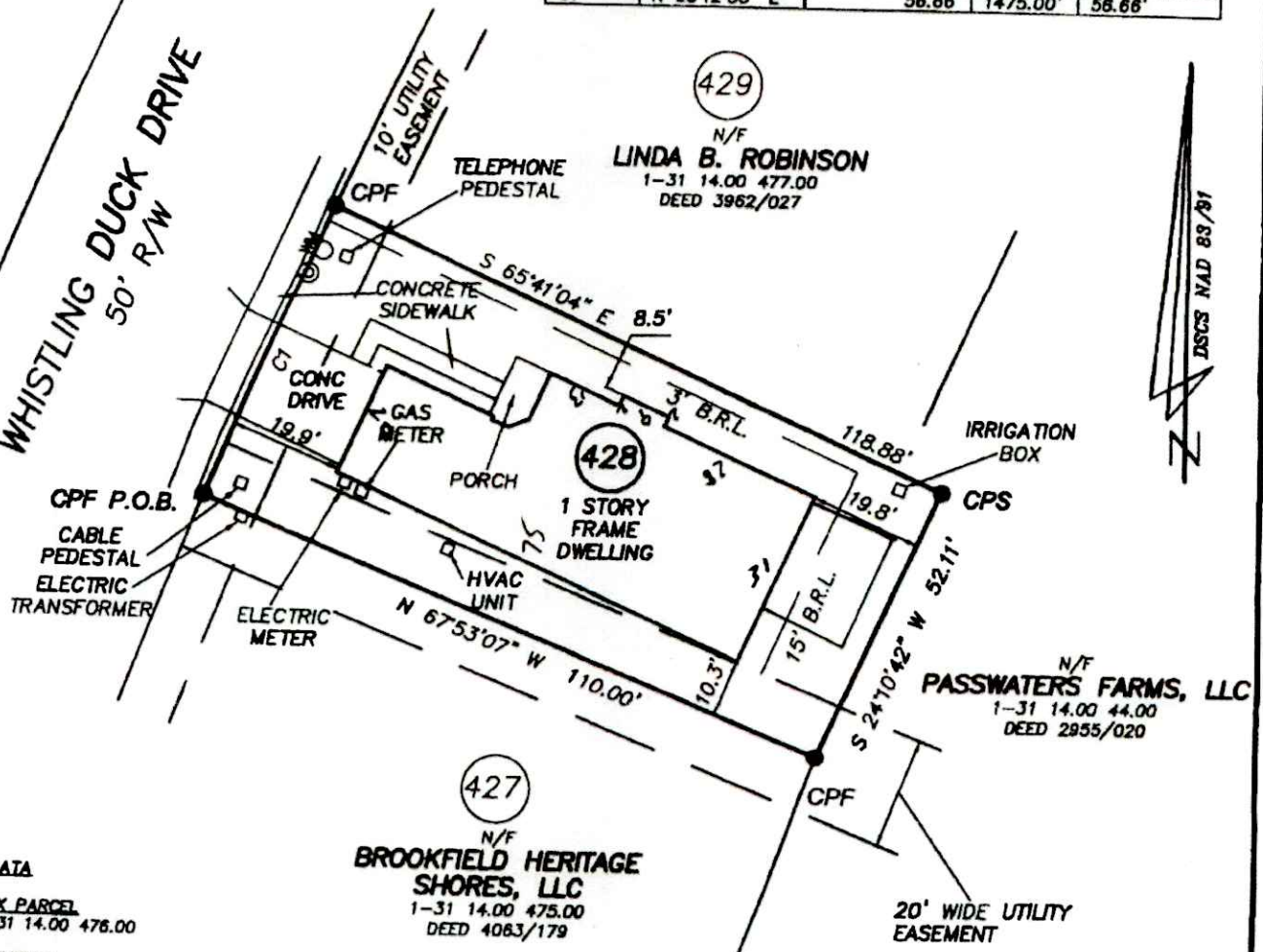
ADJOURN:

1:58 pm

CURVE TABLE

CURVE	CHORD BEARING	CHORD LENGTH	RADIUS	ARC LENGTH
C1	N 23°12'55" E	56.66'	1475.00'	56.66'

WHISTLING DUCK DRIVE
50' R/W



SITE DATA

- TAX PARCEL**
1-31 14.00 476.00
- ADDRESS**
72 WHISTLING DUCK DRIVE
BRIDGEVILLE, DE 19933
- AREA**
6,450 SQ. FT.±
- DEED REFERENCE**
4053/298
- PLAT REFERENCE**
159/49 & 171/1
- CURRENT OWNER**
BROOKFIELD HERITAGE SHORES, LLC
- SURVEY CLASS**
THIS SURVEY MEETS OR EXCEEDS THE REQUIREMENTS FOR AN URBAN SURVEY.
- THIS PLAT WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT WHICH MAY SHOW ADDITIONAL CONVEYANCES, EASEMENTS, COVENANTS, RIGHTS-OF-WAY OR MORE STRINGENT BUILDING RESTRICTION LINES THAN WHAT IS SHOWN HEREON.**
- THE DWELLING SHOWN HEREON APPEARS TO EXIST WITHIN ZONE "X" AS SCALED FROM FLOOD INSURANCE RATE MAP COMMUNITY PANEL No. 10005C0251J NO ON SITE ELEVATIONS HAVE BEEN TAKEN TO VERIFY ACTUAL FIELD CONDITIONS.**

LEGEND

●CPS CAPPED PIN SET

SURVEYOR'S CERTIFICATION:

I HEREBY CERTIFY TO THE ACCURACY OF THIS SURVEY

• PATIO ADDED 10/2016 2482-116

ENCLOSURE - 14" x 10"

→ EXTENDS 5'2" INTO REAR YARD SETBACK.

COMMENCING AT A POINT LOCATED ALONG THE NORTHERN RIGHT-OF-WAY LINE OF GADWALL CIRCLE, A FIFTY (50) FOOT WIDE RIGHT OF WAY AT THE INTERSECTION OF THE EASTERN RIGHT-OF-WAY LINE OF WHISTLING DUCK DRIVE, A FIFTY (50) FOOT WIDE RIGHT-OF-WAY; THENCE LEAVING GADWALL CIRCLE SO FIXED AND BINDING ON THE EASTERN RIGHT-OF-WAY LINE OF WHISTLING DUCK DRIVE; NORTH 09° 30' 23" EAST 103.71 FEET TO A POINT OF CURVATURE; THENCE BY AND WITH THE ARC OF A CURVE TO THE RIGHT A DISTANCE OF 324.58 FEET TO THE PLACE OF BEGINNING, SAID CURVE HAVING A RADIUS OF 1475.00 FEET AND SCRIBED BY A CHORD OF NORTH 15° 48' 38" E 323.93 FEET.

Town of Bridgeville, DE
Friday, September 5, 2025

Chapter 234. Land Use and Development

Article XII. Property Development Standards Applying to All Districts

§ 234-49. Permitted projections into required yards.

Type of Projection	Front Yard	Interior Side Yard	Corner Side Yard	Rear Yard
Air conditioners and heat pumps, either freestanding or wallmounted	Not permitted	5 feet	5 feet	5 feet
Aluminum siding, brick veneer, and similar applications to existing structures	9 inches	9 inches	9 inches	9 inches
Awning in commercial or industrial zones	5 feet	5 feet	5 feet	5 feet
Balconies, bay windows, entrances, oriels, and vestibules less than 10 feet wide	3 feet	3 feet	3 feet	3 feet
Carports	5 feet	3 feet	3 feet	5 feet
Chimneys	2 feet	2 feet	2 feet	2 feet
Cornices and eaves	2 feet	2 feet	2 feet	2 feet
Decks, platforms, or similar raised structure	Not permitted	Not permitted	Not permitted	6 feet
Fire escapes	5 feet	5 feet	5 feet	5 feet
Outside stairways	Not permitted	Not permitted	Not permitted	6 feet
Ornamental features, such as sills, leaders, belt courses	6 inches	6 inches	6 inches	6 inches
Porches, steps, stoops, terraces, and similar features				
Open	9 feet	3 feet	3 feet	9 feet
Roof covering porches, steps, stoops, terraces	4 feet	Not permitted	Not permitted	4 feet
Enclosed, including screened-in porches	Not permitted	Not permitted	Not permitted	Not permitted

Notes:

1. N/A means not applicable.
2. SF means square feet.
3. See Article **XVI**, § **234-70**, for standards governing structures in flood-prone areas.



Letter Landscape Parcel Details



PIN:	131-14,00-476,00
Owner Name	RIVERS MARGARET MACDOUGALL
Book	5030
Mailing Address	72 WHISTLING DUCK DR
City	BRIDGEVILLE
State	DE
Description	
Description 2	
Description 3	
Land Code	

- Tax Parcels
- 911 Address
- Streets
- County Boundaries
- FEMA Flood Maps
- Flood Zone
- A
- AE
- AE, FLOODWAY
- AO
- VE
- X, 0.2 PCT ANNUAL CHANCE FLOOD HAZARD
- Wellhead Protection Areas
- World Imagery
- Low Resolution 15m Imagery
- High Resolution 60cm Imagery
- High Resolution 30cm Imagery
- Citations
- 15cm Resolution Metadata

